

Application Number: 18/01301/LBC**Description:** Listed Building Consent for Remedial/ Conservation repairs to The Chapel to the North of Bradwell Abbey House.**AT** Bradwell Abbey, Alston Drive, Bradwell Abbey, Milton Keynes, MK13 9AP**FOR** Ms Jill Dewick**Target:** 20th July 2018**Extension of Time:** 27th July 2018**Ward:** Bradwell**Parish:** Bradwell Parish Council**Report Author/Case Officer:** Richard Edgington
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1.0 RECOMMENDATION

It is recommended that Listed Building Consent is granted subject to conditions set out in this report.

2.0 INTRODUCTION

2.1 The Site

2.1.1 The application site is 'The Chapel' that lies to the North of Bradwell Abbey House. The Chapel itself was built circa. 1330 and forms part of the Bradwell Benedictine priory complex and is Grade I Listed, as well as being a scheduled ancient monument of 'High National Significance'.

2.1.2 The Chapel has an eclectic history which has seen the building used both as a public and private place of worship, and an outbuilding. Whilst there have been basic repairs carried out to the site, these repairs have not been undertaken sympathetically and have contributed to the issues now facing The Chapel.

2.2 The Proposal

2.2.1 The application seeks permission for a series of remedial and surveying works to include;

- Replace existing scaffolding, expose the roof structure for inspection and repair (Timber repairs to the roof alongside; re-felting and re-roofing)
- Carry out a detailed survey to the ceiling; walls and floors (Internal and External)
- Undertake archaeological, structural and further remedial surveys
- Treatment of existing plasterworks
- Installation of environmental monitoring
- Removal of cement and repair/mortar works and re-pointing
- Lime washing to both the interior and exterior

2.3 Reason for referral to committee

This application has been referred to committee as Milton Keynes Council is the applicant (as part of Paragraph 7 of the scheme of delegation).

3.0 **RELEVANT POLICIES**

3.1 National Policy:

Planning (Listed Buildings and Conservation Areas) Act (1990)
Section 66 Listed Buildings

National Planning Policy Framework (2012)
Section 12 – Conserving and enhancing the historic environment

3.2 Local Policy:

Core Strategy (2013)
CS19 - The Historic and Natural Environment

Adopted Milton Keynes Local Plan (2001-2011)
HE1 - Protection of Archaeological Sites
HE2 - Buildings of Special Architectural or Historic Interest
HE4 - Extension or Alteration of a Listed Building
HE5 - Development Affecting the Setting of a Listed Building
HE6 - Conservation Areas

3.3 Human Rights Act (1998)

There may be implications under Article 8 and Article 1 of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions. However, these potential issues are in this case

amply covered by consideration of the environmental impact of the application under the policies of the development plan and other relevant policy guidance.

3.4 Equalities Act (2010)

Due regard, where relevant, has been had to the Milton Keynes Council's equality duty as contained within the Equalities Act (2010).

4.0 MAIN ISSUES

Impact on a Listed Building

5.0 CONSIDERATIONS

Impact on a Listed Building

5.1 In assessing the impact on Bradwell Abbey, each aspect of the works will be taken in turn;

Masonry Works

5.2 The site is currently concealed by scaffolding and tarpaulin to protect the building from the elements. This has been done to minimise the deterioration of the external facade of the Chapel as it is, like much of the rest of the site, suffering from masonry decay. This decay has been the result of neglect and the period of time the building has been open to the elements with little or no maintenance. Whilst a number of basic remedial repairs have been undertaken, these repairs have been reactive and have been undertaken with non-traditional building materials including cement and non-hydraulic lime. In turn, these repairs have contributed to the medium-long term decay of the building. The design and access statement identifies that these materials have precipitated the decay of the stonework, particularly around the doors and windows. This is attributed to the non-porous materials that have been used for the mortar and wall repairs.

5.3 As a result of these issues, the application seeks permission to remove the cement and non-hydraulic lime masonry in order to replace it with a combination of natural materials including; Quicklime, stone dust, sand and hair. This enables the masonry to harmonise with the existing masonry, made up of natural materials, which will in turn preserve the significance and authenticity of The Chapel. Whilst these works are essential for the structural integrity of the building, special measures are being taken to ensure that repairs do not prevail as the predominant features of The Chapel. This is to satisfy the requirement of Policy HE2 of Milton Keynes' adopted Local Plan which states that;

5.4 'The Council will exercise its Planning and Listed Building Control powers to safeguard the preservation of Listed Buildings by permitting a change of use where it

would contribute to the retention of the building without adversely affecting its character, special interest or structural integrity'.

5.5 This is to be achieved by repairing only where necessary, and where any loose masonry is to be repaired, this will be done so sympathetically and will be left recessed to maximise the original features and attributes of the building. In conjunction, once these repair works have been carried out, it is proposed that a lime wash coating is applied. This is to aid the preservation of the building and provide a natural protection against the impacts of weather, and the absence of modern drainage systems. The benefit of lime also is that it is porous and enables the building to have an air supply to mitigate damp issues.

Drainage

5.6 The addition of a lime wash coating also seeks to mitigate against the impacts of the lack of integrated drainage within the Chapel. Whilst the design and access statement acknowledges that guttering would be the ideal solution to the issue of drainage, the aesthetic implications on the listed building would be considered damaging and contrary to Policy HE1 which states; 'Planning permission will be refused for development proposals that would have an adverse impact upon a Scheduled Ancient Monument or its setting'. Furthermore, the assessment carried out of the site acknowledges that the installation of such rainwater goods is unfeasible as there is no means of drainage, instead a topographical survey has been recommended to ensure that the ground external to the chapel is lower than that of the internal to ensure surface run-off projects away from the building.

Works to the Roof

5.7 As part of the planning application, the proposal consists of undertaking a series of assessments and surveys to ascertain the extent to the damage on the roof. Within this application, permission is sought to remove the in situ tarpaulin and scaffolding to facilitate a full assessment. The specific works to the roof are yet to be confirmed until this work has taken place, although it is expected that the roof will be replaced. This will be done so by using the existing materials where possible and by sourcing handmade matches. The methodology and the detailing of these works will be required through written submission to the planning authority. These works form part of the conditions listed at the end of this report.

Internal Considerations

5.8 Given the external issues, particularly to the roof and masonry, it is unsurprising that the interior of the Chapel has been damaged. Key attributes of the Chapel is the quality and style of the internal wall coverings are key assets that must be preserved. The design and access statement refers to the medieval wall paintings showing unique images of contemporary pilgrimage and the fragility of the artwork.

5.9 Whilst they are being monitored, there is a duty on the owner as legislated within Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990

to preserve the merits of listed buildings. The proposed works therefore include detailed surveys and sample collecting of the internal plastering to the ceiling and walls. Again, the full details of these works will not be known until the assessments are carried out, again the detailing of these works will be required as part of the planning conditions and the proposed scheme of works.

6.0 CONCLUSIONS

6.1 In conclusion, the proposed works seek to provide the framework for the repairs of the Grade I Listed building which will both protect and enhance the heritage asset. As such it is recommended that Listed Building Consent is granted subject to conditions.

7.0 CONDITIONS

1. The works hereby permitted shall begin before the expiration of three years from the date of this consent.

Reason: To conform with the requirements of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2. Prior to the installation of any new roof materials, at least three samples of the proposed roof material and a sample of the proposed ridge tile, shall be submitted to, and approved in writing by the Local Planning Authority. Samples shall be accompanied with details of source/supplier. The works shall be carried out thereafter in accordance with the approved particulars.

Reason: To ensure that the proposed development does not adversely impact the setting of the Listed Buildings and structures as well as the setting of the Historic Park and Garden in accordance with Saved Policies HE5 and HE8 of the Milton Keynes Local Plan 2001-2011, Policy CS19 of the Milton Keynes Core Strategy 2013 and Section 12 of the National Planning Policy Framework 2012.

3. Prior to the commencement of works a written scheme of works which shall confirm standards for works to the masonry and roof shall be submitted to and approved in writing by the local planning authority. Specifically the scheme of work shall provide mortar specifications, detail drawings of the proposed roof structure in section showing finished verge and eaves details and the general methods and standards of build. The development shall be carried out in accordance with the approved details.

Reason: To preserve the character and special interest of the listed building and the character and appearance of the conservation area, in accordance with saved policies HE4 and HE6 of the Milton Keynes Local Plan.

4. The development hereby approved shall be carried out in accordance with the materials specified on the approved plans.

Reason: To ensure that the new work complements the existing building and to ensure the development does not detract from the character and appearance of the area in accordance with Policy CS13 of the Milton Keynes Core Strategy 2013 and Saved Policies D1 and D2 of the Milton Keynes Local Plan 2001-2011.

5. Prior to the commencement of any new stonework, a sample panel of stonework shall be constructed on site for the inspection and written approval of the Local Planning Authority. The sample panel should use the proposed material, mortar type, bond, coursing and pointing, and include coping where proposed. The panel shall remain on site until the works are completed. The works shall thereafter be carried out in accordance with the approved particulars.

Reason: To preserve the character and special interest of the listed building, the setting of the listed building in accordance with Policy CS19 of the Milton Keynes Core Strategy 2013 and Saved Policies HE4 and HE5 of the Milton Keynes Local Plan 2001-2011.

6. Prior to the commencement of any new plaster, details of the proposed plaster mixes and finish shall be submitted to and approved in writing by the Local Planning Authority. The works shall thereafter be carried out in accordance with the approved particulars.

Reason: To preserve the character and special interest of the listed building, the setting of the listed building in accordance with Policy CS19 of the Milton Keynes Core Strategy 2013 and Saved Policies HE4 and HE5 of the Milton Keynes Local Plan 2001-2011.

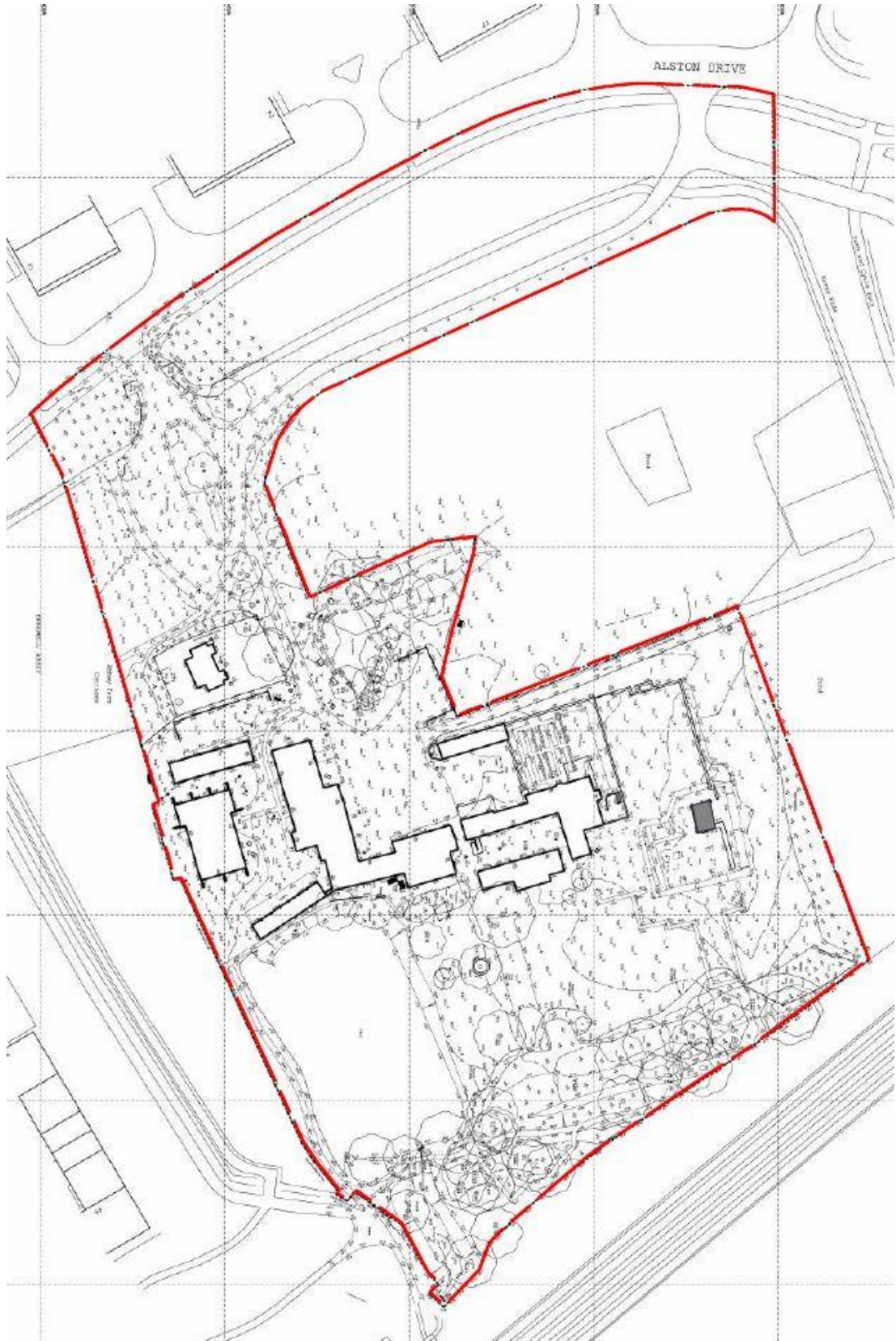
7. Prior to the installation of any doors, full details of the proposed doors shall be submitted to, and approved in writing by the Local Planning Authority. Details shall include elevation drawings, horizontal and vertical cross sections at a scale of at least 1:5 and confirm the proposed finish. The works shall thereafter be carried out in accordance with the approved particulars prior to the occupation of the building.

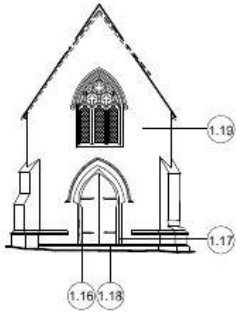
Reason: To preserve the character and special interest of the listed building, the setting of the listed building in accordance with Policy CS19 of the Milton Keynes Core Strategy 2013 and Saved Policies HE4 and HE5 of the Milton Keynes Local Plan 2001-2011.

8. Any hidden historic features which are revealed during the course of works shall be retained in situ, work in the relevant area of the building shall be

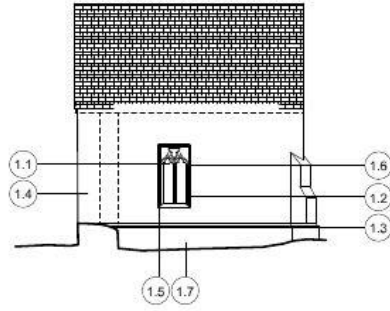
suspended and the Local Planning Authority notified immediately. Provision shall be made for their retention, relocation and/or proper recording, as required by the Local Planning Authority.

Reason: To preserve the character and special interest of the listed building, in accordance with Policy CS19 of the Milton Keynes Core Strategy 2013 and Saved Policies HE4 and HE5 of the Milton Keynes Local Plan 2001-2011.

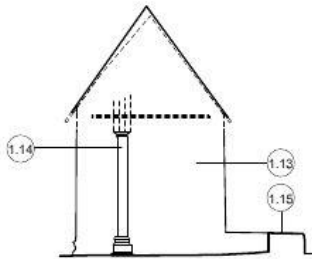




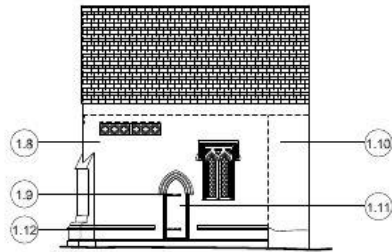
1 West Elevation Chapel
1:100



2 North Elevation Chapel
1:100



3 East Elevation Chapel
1:100



4 South Elevation Chapel
1:100

APPENDIX TO 18/01301/LBC

A1.0 RELEVANT PLANNING HISTORY

There is no relevant planning history.

A2.0 ADDITIONAL MATTERS

There are no additional matters.

A3.0 CONSULTATIONS AND REPRESENTATIONS

A3.1 National Amenity Societies

No comments received to date.

A3.2 Councils Archaeologists

No comments received to date.

A3.3 EH - Historic England

No comments received to date.

A3.4 Conservation & Archaeology

These proposals have been reviewed at length with the Bradwell Abbey Project Board and Historic England and are acceptable in principle.

Development Detail

Boundary Treatments – There are no objections to the exploratory and remedial works proposed.

Ceiling – There are no objections to the proposed survey and remedial works to the ceiling, however the methodology proposed post survey will need to be agreed in writing prior to commencement, however Historic England have oversight of this project and will need to agree the scope of works.

External Doors – There are no objections to the remedial works proposed

External Walls – There are no objections to the exploratory and remedial works proposed.

Floors – There are no objections to the proposed survey, however the methodology proposed post survey will need to be agreed in writing prior to commencement,

however Historic England have oversight of this project and will need to agree the scope of works.

Roof Covering – There are no objections to the exploratory and remedial works to the roof, however the methodology proposed post survey will need to be agreed in writing prior to commencement, however Historic England have oversight of this project and will need to agree the scope of works.

Windows – There are no objections to the remedial works proposed.

Other – There are no objections to the proposed surveys and exploratory works, however the methodology proposed post survey will need to be agreed in writing prior to commencement, however Historic England have oversight of this project and will need to agree the scope of works.

A3.5 Network Rail

No comments to make on the application.

A3.6 HSE Consultations (internal To MKC)

No comments received to date.

A3.7 Parish – Bradwell

No comments received to date

A3.8 Ward - Bradwell - Cllr M Bradburn

No comments received to date

A3.9 Ward - Bradwell - Cllr R Bradburn

No comments received to date

A3.10 Ward - Bradwell - Cllr Exon

No comments received to date

A3.11 Third Party Representations

No comments received to date