

ITEM 4(a)

Application Number: 19/00200/FUL

Description Re-submission of 18/02501/FUL; for development of two houses & associated garaging at land off Walton Road, Wavendon.

AT Land Adjacent To, 80 Walton Road, Wavendon, Milton Keynes, MK17 8LW,

FOR Mr Michael Schwartz

Target: 25 March 2019

Extension of Time: No

Ward: Danesborough and Walton

Parish: Wavendon

Report Author/Case Officer: Luke Gledhill, Planning Officer, East Team

Contact Details: 07795 475591, luke.gledhill@Milton-keynes.gov.uk

Team Manager: Nikolaos.Grigoropoulos@milton-keynes.gov.uk

1.0 RECOMMENDATION

It is recommended that planning permission is granted, subject to conditions.

2.0 INTRODUCTION

2.1 This application is referred to the Development Control Panel for determination as to approve the application represents a departure from the adopted development plan planning policy at the time of preparing the report, by reason that the site lies within the open countryside outside of but adjacent to the Wavendon settlement boundary. However the Wavendon settlement boundary has been reviewed and amended to include the application site as part of Plan:MK in the light of recent planning permissions. Plan:MK is anticipated to be adopted by the Council on 20.03.2019, in which case the proposal would no longer comprise a departure.

2.2 The Site

The application site is located on the northern side of Walton Road in Wavendon, in an open countryside location. The site forms a part of the south-westerly part of the large garden to number 80 Walton Road.

The site is surrounded by commercial employment land to the south-west and north-west. Outline planning permission has been granted for two new houses to be built on the site.

2.3 The Proposal

Full planning permission is sought for development of two houses & associated garaging on land on Walton Road, Wavendon.

Each house would have three allocated parking spaces and in total the site would have four visitor parking spaces on top of the allocated spaces.

House 1 would have five bedrooms and House 2 would have four bedrooms.

3.0 RELEVANT POLICIES

3.1 National Policy

National Planning Policy Framework 2018

Section 2: Achieving sustainable development

Paragraphs 7-14: Presumption in favour of sustainable development

Section 5: Delivering a sufficient supply of homes

Section 12: Achieving well-designed places

Section 15: Conserving and enhancing the natural environment

Section 16: Conserving and enhancing the historic environment

3.2 Local Policy

Neighbourhood Plans

The site is not within an area with a Neighbourhood Plan.

Milton Keynes Core Strategy 2013

Policy CSA: Presumption in Favour of Sustainable Development

Policy CS1: Milton Keynes Development Strategy

Policy CS2: Housing Land Supply

Policy CS5: Strategic Land Allocation

Policy CS9: Strategy for the Rural Area

Policy CS10: Housing

Policy CS11: A Well Connected Milton Keynes

Policy CS12: Developing Successful Neighbourhoods

Policy CS13: Ensuring High Quality, Well Designed Places

Policy CS19: Historic and Natural Environment

Adopted Milton Keynes Local Plan 2001-2011

Policy S10: Open Countryside

Policy D1: Impact of Development Proposals on Locality

Policy D2A: Urban Design

Policy D2: Design of Buildings

Policy HE1: Protection of Archaeological Sites

Policy NE2: Protected Species

Policy NE4: Conserving and Enhancing Landscape Character
Policy T1: Transport User Hierarchy
Policy T3: Pedestrians and Cyclists
Policy T10: Traffic
Policy T15: Parking Provision

Plan:MK Submission version October 2017

Policy DS5: Open Countryside
Policy CT10: Parking Provision
Policy D2: CREATING A POSITIVE CHARACTER
Policy D3: DESIGN OF BUILDINGS
Policy D4: AMENITY AND STREET SCENE
Policy NE2: PROTECTED SPECIES AND PRIORITY SPECIES AND HABITATS
Policy NE3: BIODIVERSITY AND GEOLOGICAL ENHANCEMENT
Policy HE1: HERITAGE AND DEVELOPMENT

Supplementary Planning Documents

Milton Keynes Parking Standards SPD (2016)
New Residential Development Design Guide (2012)

3.3 Human Rights Act 1998

There may be implications under Article 8 and Article 1 of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions. However, these potential issues are in this case amply covered by consideration of the environmental impact of the application under the policies of the development plan and other relevant policy guidance.

3.4 Equalities Act 2010

Due regard, where relevant, has been had to the Milton Keynes Council's equality duty as contained within the Equalities Act 2010.

3.5 Screening Opinion: Not required.

4.0 MAIN ISSUES

Principle of Development
Highways Safety / Parking Standards
Residential Amenity
Design, Character, Appearance
Other Matters

5.0 CONSIDERATIONS

5.1 Principle of Development

5.1.1 The application site is located in open countryside where normally there is a presumption in planning policy against new housing development, unless for purposes outlined in Policy S10 of the Milton Keynes Local Plan and Policy DS5 of

Plan:MK. However, it is recognised that outline planning permission was granted in 2017 for development of two new residential dwellings on the application site. The planning permission (reference: 16/02944/OUT) is still live. Furthermore as per paragraph 2.1 above, the Wavendon settlement boundary has been reviewed and amended to include the application site (W3) and amalgamate it into the settlement. The advanced stage of Plan:MK means that this carries very significant / near full weight and it is considered that at the time of the DCP, Plan:MK will have been formally adopted and will carry full weight, and the location of the application site will no longer be considered to be in the open countryside, but would form part of Wavendon settlement. As such the principle of residential development on the site is fully established.

5.2 Highways Safety / Parking Standards

- 5.2.1 The Highways Engineer for Development Management has stated that the parking scheme for the current scheme is much improved when compared to the extant 2016 planning permission.

Each plot has at least three parking spaces and the generous site is allowing for visitor parking spaces also. The scheme for parking is acceptable in these terms and is shown in the table below.

The Council's Highway Engineer has also stated that the submitted plans show a clearer layout for the access and visibility splays and this is acceptable. The case officer agrees with the advice given, subject to conditions for access, visibility and parking details.

The required and provided parking spaces for the proposed development are as follows:

Parking Standards Requirement - Zone 4		Provided	
Allocated	Unallocated + tandem	Allocated	Unallocated + Tandem
6	0.66	6	4
6.66 total spaces required		10 total spaces provided	

- 5.2.2 On the basis of the above information, it is considered that the proposed development would be acceptable with regard to planning policies D1 and T15 of the Adopted Milton Keynes Local Plan (2001-2011) and policy CT10 of the emerging Plan: MK.

5.3 Residential Amenity

- 5.3.1 Saved Policy D1 of the Adopted Milton Keynes Local Plan (2001-2011) exists to prevent development causing harm to the site and the surrounding areas. For residential developments, this means making sure that no vantage points would exist which would impinge upon neighbouring privacy, ensuring that the proposed built form affords sufficient visual outlook to neighbouring properties in the sense that new development is not overbearing to existing residents and ensuring that new developments would not significantly reduce the amount of day/sunlight

enjoyed by neighbours.

- 5.3.2 It is considered that the proposed two dwellings would be situated a sufficient distance apart from each other and away from existing residential dwellings so as to not have a detrimental impact on residential amenity provision. Nevertheless it is recommended that a condition be placed on the decision to restrict first floor side windows to be obscurely glazed and part-opening, to prevent overlooking of neighbours' properties. These windows are: the first floor side window in the southwest elevation of house 2 (serving an en-suite bathroom) and the rearmost first floor side window in the northeast elevation of house 1 (serving a bedroom).
- 5.3.3 Subject to such a condition, it is considered that the proposal complies with saved policy D1 of the adopted Mk Local Plan (2001-2011) and policy D4 of the emerging Plan: MK.

5.4 **Design, Character, Appearance**

- 5.4.1 Saved policies D2A and D2 of the adopted MK Local Plan (2001-2011), policy CS13 of the MK Core Strategy (2013) and policies D2 and D3 of the emerging Plan: MK collectively require that the design of development proposals be sensitive to the character and appearance of the site context, in terms of both urban design principles and design of buildings.
- 5.4.2 The application site is situated on land in open countryside. It was formerly part of the garden associated with 80 Walton Road (an adjacent residential property). The stretch of Walton Road that the site is located on features other residential properties. These are a range of one and two storey dwellings with render, brick, painted brick and wooden cladding building materials. The existing site features a number of trees, mainly around its edge.
- 5.4.3 The application proposes two detached dwellings with the following external building materials:
- Tapco Slate (Classic Pewter Grey)
 - Crest textured bricks (Regal Blend)
 - Jeld Wen casement windows
 - Dark brown Cedral lap cladding
- 5.4.4 The proposed dwellings would be set back from the street, reflecting the design of other buildings in the local area. The choice of building materials would reflect those of other buildings in the local area and it is thought that the dwellings feature suitable variation in design to reflect the variation already present on the streetscene. Overall, it is considered that the proposed dwellings would be in keeping with the existing character and appearance of other buildings in the local area, and that the proposals for tree works would preserve the leafy character of the area as viewed from Walton Road.
- 5.4.5 It is considered that the proposal complies with Saved policies D2A and D2 of the adopted MK Local Plan (2001-2011), policy CS13 of the MK Core Strategy (2013) and policies D2 and D3 of the emerging Plan: MK.

5.5 Other Matters

5.5.1 Ecology

5.5.2 The application site is in a red risk zone for presence of Great Crested Newts on site; there are ponds within 500m of the site; there are records of Great Crested Newts being present in the area. The site was formerly part of the garden of neighbouring house 80 Walton Road and is predominantly made up of grassland with trees around the edges of the site.

5.5.3 The applicant has submitted a technical briefing note and biodiversity enhancement plan in support of the application. The council's ecologist has registered that they have no objections to the proposal and verbally advised that a condition be placed on the decision requiring that all biodiversity enhancements noted in the approved plans be carried out at the appropriate time prior to, during and post-development. Subject to this condition, it is considered that the proposal complies with saved policies NE2 and NE3 of the adopted MK Local Plan (2001-2011) and policies NE2 and NE3 of the emerging Plan: MK.

5.5.4 Landscaping

5.5.5 The council's Senior Landscape Architect has recommended that conditions be placed on the decision requiring boundary treatment and landscaping scheme details be submitted for approval; these details are not present with the current application and so this recommendation is agreed with. The Landscape Architect also advised that the decision be subject to a condition requiring proposed finished site and building levels be submitted for approval, however, these details have already been submitted with the application and are considered acceptable; a levels condition is unnecessary. In addition, the landscape architect suggested that the scheme incorporate a stone wall along the street front of the site, since the site has in the past had a stone wall on this frontage. However, a stone wall along the frontage would interfere with visibility splays measured from the highway access, and should not therefore be requested to form part of the proposals.

5.5.6 Archaeology

5.5.7 The application site is within an area of archaeological interest. The Council's Senior Archaeological Officer has registered that he has no comments on the application. The proposal is therefore considered to comply with saved policy HE1 of the Adopted MK Local Plan (2001-2011) and policy HE1 of the emerging Plan: MK.

5.5.8 Arboriculture

5.5.9 No comments have been received from Landscape Services regarding the proposal. It is considered that the proposed tree protection measures are acceptable and should be secured by condition.

6.0 CONCLUSIONS

- 6.1 It is concluded that the proposed development is in accordance with national, development plan and emerging planning policies and therefore planning permission should be granted, subject to the conditions set out below.

7.0 CONDITIONS

1. The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: To prevent the accumulation of planning permissions; to enable the Local Planning Authority to review the suitability of the development in the light of altered circumstances; and to comply with section 91 of the Town and Country Planning Act 1990.

2. Notwithstanding the approved drawings, no development shall take place above slab level until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority. These details shall include existing trees and/or hedgerows to be retained and/or removed accurately shown with root protection areas; existing and proposed finished levels or contours; means of enclosure; visibility splays; areas of hard surfacing materials; proximity between street lights and tree planting; pedestrian access and circulation areas; civic space / public park furniture, play equipment, bins etc.; proposed and existing functional services above and below ground such as cables, pipelines, substations. Soft landscape works shall include planting plans at a minimum scale of 1:200 with schedules of plants noting species, plant supply sizes and proposed densities; written specifications (including cultivation and other operations associated with tree, plant and grass establishment; and the implementation programme. Development shall be carried out in accordance with the approved details. If within a period of two years from the date of the planting of any tree or shrub, that tree or shrub, or any tree and shrub planted in replacement for it, is removed, uprooted or destroyed, dies, becomes severely damaged or diseased, shall be replaced in the next planting season with trees and shrubs of equivalent size, species and quantity. All hard and soft landscape works shall be carried out prior to the occupation of the building(s) or the completion of the development whichever is the sooner or in accordance with a programme agreed in writing with the Local Planning Authority.

Reason: To protect significant trees and hedgerows, safeguarding the character of the area and preserving habitat and to minimise the effect of development on the area in accordance with Policies CS13 and CS19 of the Milton Keynes Core Strategy 2013 and Saved Policy D1 of the Milton Keynes Local Plan 2001-2011.

3. Prior to the initial occupation of the development the new means of access shall be sited and laid out in accordance with the approved drawing and constructed in accordance with Milton Keynes Council's guide note "Residential Vehicle Crossing Details". The access so laid out shall be retained thereafter.

Reason: In order to minimise danger, obstruction and inconvenience to users of the highway and of the access.

4. Notwithstanding the approved details, no development shall take place above slab level until details of the proposed boundary treatments have been submitted to and approved in writing by the Local Planning Authority. The details shall include a boundary treatment plan (at a minimum scale of 1:500) detailing the position of all proposed boundary treatment and annotated or accompanied by a schedule specifying the type, height, composition, appearance and installation method of boundary treatment throughout the site. The development shall be carried out in accordance with the approved details prior to the occupation of any part of the development and shall thereafter be retained in that form.

Reason: To provide adequate privacy, to protect the external character and appearance of the area and to minimise the effect of development on the area in accordance with Policy CS13 of the Milton Keynes Core Strategy 2013.

5. The biodiversity enhancements and any on-site procedures associated with biodiversity set out within the submitted Technical Briefing Note, Biodiversity Enhancement Plan and approved plans shall be carried out at the appropriate time prior to, during and post development, as specified within those documents.

Reason: To maintain and enhance local biodiversity and ecology in accordance with Policy CS19 of the Milton Keynes Core Strategy 2013 and Saved Policy NE3 of the Milton Keynes Local Plan 2001-2011.

6. Prior to the initial occupation of the development the visibility splays shown on the approved drawings have been provided on both sides of the access and the area contained within the splays shall be kept free of any obstruction exceeding 0.6m in height above the nearside channel level of the carriageway thereafter.

Reason: To provide adequate inter-visibility between the access and the existing public highway for the safety and convenience of users of the highway and of the access.

7. Prior to the occupation of the development hereby permitted the car parking area shown on the approved drawings shall be constructed, surfaced and permanently marked out. The car parking area so provided shall be maintained as a permanent ancillary to the development and shall be used for no other purpose thereafter.

Reason: To ensure adequate parking provision at all times so that the development does not prejudice the free flow of traffic or the safety on the neighbouring highway.

8. The development hereby approved shall be carried out in accordance with the materials specified on the approved plans.

Reason: To ensure that the new work complements the existing building and to ensure the development does not detract from the character and appearance of the area in accordance with Policy CS13 of the Milton Keynes Core Strategy 2013 and Saved Policies D1 and D2 of the Milton Keynes Local Plan 2001-2011.

9. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking, re-enacting or modifying that Order), the proposed rear-most first floor window in the northeast elevation of house 1

serving a bedroom and the proposed first floor window in the southwest elevation of house 2 serving an en-suite shall be obscurely glazed to a minimum level 3 within the Pilkington range of Textured Glass or equivalent and be non-opening below 1.7 metres from finished floor level. These windows shall thereafter be maintained in this condition at all times and shall not be altered to clear glazing or opening without the specific grant of planning permission from the Local Planning Authority.

Reason: To preserve the amenity and privacy of the adjoining residential occupiers in accordance with Saved Policy D1 (iii) of the Milton Keynes Local Plan 2001-2011.

10. All biodiversity enhancements noted in the approved plans, Biodiversity Enhancement Scheme and Management Plan, and Technical Briefing Note shall be carried out at the appropriate time prior to, during and post-development in accordance with the approved particulars.

Reason: To maintain and enhance local biodiversity and ecology in accordance with Policy CS19 of the Milton Keynes Core Strategy 2013 and Saved Policy NE3 of the Milton Keynes Local Plan 2001-2011.

11. All existing trees, woodlands and hedgerows to be retained as shown on the approved plans shall be fully protected in accordance with the latest British Standards (currently BS 5837:2012 'Trees in relation to design, demolition and construction- Recommendations') by the time construction begins in accordance with the tree protection measures specified on drawing no. 18331/04 revision A. Signs informing of the purpose of the fencing and warning of the penalties against destruction or damage to the trees and their root zones shall be installed at minimum intervals of 10 metres and a minimum of two signs per separate stretch of fencing.

Reason: To protect significant trees and hedgerows, safeguarding the character of the area and preserving habitat and to minimise the effect of development on the area in accordance with Policies CS13 and CS19 of the Milton Keynes Core Strategy 2013 and Saved Policies D1 and D2A of the Milton Keynes Local Plan 2001-2011.

Include sustainability/landscape maintenance and site management and maintenance activities to be carried out in accordance with Asset Energy Sustainability Enhancement Action and Management Plan.

Surrounding as follows:

- Addressed but trees to be planted along site boundary as part of a balanced landscape strategy.
- Wood 15g plant.
- Hedging trees and the inclusion of gaps in hedging facing in same direction of visibility across the site.

Existing trees and associated vegetation are to be retained, protected and protected during construction. The following measures are to include the retention and maintenance of productive trees facing.

Key to the Architectural Survey assessment and Impact Statement relating to proposed development.

New specific sustainability planning is to be undertaken to include the following measures to provide additional cover and hedging opportunities for wildlife, in particular nesting birds.

Measurements based on Ordnance Survey extract.

Application site edged with a red line to indicate all road necessary for development. On site required for access to the site from a public highway, visibility, safety, landscaping, car parking and signs areas around the boundary.

- KEY**
- Site boundary
 - Tree
 - Hedging
 - Tree Protection fencing
 - Integrated Blue Box / Round Cost
 - Red Box (in §. Schwegler 2019/19)
 - Blue Box (in §. Schwegler 18)
 - Hedging Stone
 - Indicative Proposed Wood Planting



1.5m radii each side of site access. Visibility signs shown to be provided on both sides of the access and the area contained within the signs but free of any obstruction exceeding 0.5m in height above the maximum clearance level of the category kerbside.

BLOCK PLAN; 1/200



SITE LOCATION; 1/1250



PLANNING

Sketchproposal

Architectural Design	0774 487 8060	Mr M. Schwartz	02/719	05/2014	19331/01
Interior Design	01753 712045	Land off, Newbold Road	SCALE		
Planning	mail@sketchproposal.com	Walsford, Leicestershire MK17 8LW			
Contact Administration	www.sketchproposal.com	Site location and block plans	1/200/1250(BA)		D

REVISIONS

This sketch proposal is a preliminary design and is not intended to be used for planning purposes. It is intended to provide a visual impression of the proposed development and to illustrate the scale of the project. It is not intended to be used for planning purposes. The client accepts full responsibility for the content and accuracy of this sketch proposal. The client also accepts full responsibility for the content and accuracy of this sketch proposal. The client also accepts full responsibility for the content and accuracy of this sketch proposal.



SOUTHEAST ELEVATION 1:100@A1 NORTHWEST ELEVATION
 NORTHEAST ELEVATION NORTH ELEVATION



BASEMENT FLOOR PLAN 1:100@A1 GROUND FLOOR PLAN
 FIRST FLOOR PLAN SECOND FLOOR / ROOF



DETACHED GARAGE



SCALE

Sketchproposal

This sketch proposal is for information only. It is not intended to be used for any other purpose. The architect and manufacturer are not responsible for the accuracy of the information provided in this sketch proposal. The architect and manufacturer are not responsible for the accuracy of the information provided in this sketch proposal. The architect and manufacturer are not responsible for the accuracy of the information provided in this sketch proposal.

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DATE 02/19
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 DRAWING NO. 15.131/02
 REVISION 0

PLANNING

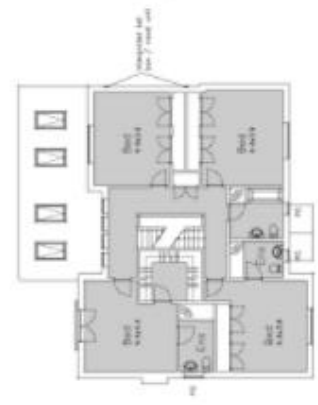


SOUTHEAST ELEVATION
1:100@A1

NORTHEAST ELEVATION

NORTHWEST ELEVATION

SOUTHWEST ELEVATION



GROUND FLOOR PLAN
1:100@A1

FIRST FLOOR PLAN

SECOND FLOOR / ROOF



- MATERIALS**
- FWOOD SLATE CLASSIC WHITE GREY
 - WALLS - WHITE PATTERNED BRICK
 - WINDO WOOD CASSETT WINDOWS
 - SKIN DARK BROWN CRISAL LAP CLADDING
- FEET**
- PG - PATTERNED GLAZE

Sketchproposal

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DATE: 02/19
SCALE: 1:100@A1

DRAWING NO: 18331/A03
REVISION: D

PLANNING

REVISIONS:

The drawing is the property of Sketchproposal. It is intended for use by the client for the purposes of the planning application only. It is not to be used for any other purpose without the written consent of Sketchproposal. The client is responsible for the accuracy of the information provided in the drawing and for any errors or omissions. The client is responsible for the accuracy of the information provided in the drawing and for any errors or omissions. The client is responsible for the accuracy of the information provided in the drawing and for any errors or omissions.

Appendix to 19/00200/FUL

A1.0 RELEVANT PLANNING HISTORY

(A brief outline of previous planning decisions affecting the site – this may not include every planning application relating to this site, only those that have a bearing on this particular case)

16/02944/OUT

Outline planning application for a residential development of up to 2 dwellings, outbuildings and associated access with all matters, except access, reserved for determination at a later date

PER 28.02.2017

17/02097/DISCON

Details submitted pursuant to discharge of condition 5 (biodiversity) attached to planning permission 16/02944/OUT

CDIS 29.09.2017

18/01362/FUL

Development of two new houses

WDN 30.07.2018

18/02501/FUL

Erection of two dwellings, associated ancillary garages and site landscaping (re-submission of 18/01362/FUL)

WDN 04.12.2018

A2.0 ADDITIONAL MATTERS

(Matters which were also considered in producing the Recommendation)

None.

A3.0 CONSULTATIONS AND REPRESENTATIONS

(Who has been consulted on the application and the responses received. The following are a brief description of the comments made. The full comments can be read via the Council's web site)

A3.1 Highways Development Control

"The resubmitted plans show a scheme for parking, much improved in layout. Each plot has at least three parking spaces and the generous site is allowing for visitor parking spaces also. The scheme for parking is acceptable.

The plans show a clearer layout for the access and visibility splays and this is acceptable.

I have no objections to planning permission being granted subject to the following conditions:

1. Prior to the initial occupation of the development the new means of access shall be sited and laid out in accordance with the approved drawing and constructed in accordance with Milton Keynes Council's guide note "Residential Vehicle Crossing Details". The access so laid out shall be retained thereafter.

Reason: In order to minimise danger, obstruction and inconvenience to users of the highway and of the access.

2. Prior to the initial occupation of the development the visibility splays shown on the approved drawings have been provided on both sides of the access and the area contained within the splays shall be kept free of any obstruction exceeding 0.6m in height above the nearside channel level of the carriageway thereafter.

Reason: To provide adequate intervisibility between the access and the existing public highway for the safety and convenience of users of the highway and of the access.

3. Prior to the occupation of the development hereby permitted the car parking area shown on the approved drawings shall be constructed, surfaced and permanently marked out. The car parking area so provided shall be maintained as a permanent ancillary to the development and shall be used for no other purpose thereafter.

Reason: To ensure adequate parking provision at all times so that the development does not prejudice the free flow of traffic or the safety on the neighbouring highway."

Landscape Architect

“It is not clear from the submitted plans what is proposed and what is existing; both in terms of boundary treatments and soft landscaping. Clear proposals are requested for approval and can be conditioned.

The submission doesn't include detailed information regarding a landscape scheme or a plan accurately showing the location and details of the type of boundary treatments. This would be expected with an application to demonstrate sensitive design treatment appropriate to the character and setting of the site context, but also in relation to protecting existing landscape features. Both would need to be approved by condition. The standard conditions would be appropriate. The road frontage should be enhanced by soft landscape including replacement tree planting. Biodiversity enhancements should feed into the landscape scheme.

There is evidence on street view images of a stone wall along this frontage which would be appropriate as a boundary treatment and more in keeping with local / neighbouring site character if it can be accommodated without damage to retained trees. There are also pictures and text in the Newt Mitigation Strategy report relating to the existing sandstone wall along the southern boundary (and un-renovated eastern end of the stone wall) and its potential to provide refuge features for any species that may be present.

In addition, the layout and levels will be important in order to protect existing trees and ensure that they can feasibly be retained without harm to their long-term health. Finished floor and ground levels should be conditioned. The standard condition would be appropriate.

Please refer the arb details to the tree officer for his comment.”

Landscape Services Manager – Trees

No comments received.

HSE Consultations (internal To MKC)

No comments received.

Councils Archaeologists

“No comments.”

Parish – Wavendon

No comments received.

Ward - Danesborough And Walton - Cllr D Hopkins

No comments received.

Ward - Danesborough And Walton - Cllr Bramall

No comments received.

Ward - Danesborough And Walton - Cllr V Hopkins

No comments received.

Councils Countryside Officer

“No objection.”

Verbal advice: “A condition should be placed on the decision requiring that all biodiversity enhancements noted in the approved plans be carried out at the appropriate time prior to, during and post-development.”

No third party comments received.