

Application Number: 16/00948/FUL
Other

Conversion of garage to habitable living accommodation through the removal of the existing garage doors to the front elevation and installation of a single door and fixed pane window, to the front and rear elevation of the existing garage. The erection of a single storey side and rear extension, in addition to external alterations in the form of alterations to the existing windows. (part-retrospective)

AT 12 Braunston, Woughton Park, Milton Keynes

FOR Mr Raymond Yeates

Target: 18th July 2016

Ward: Campbell Park And Old Woughton

Parish: Old Woughton Parish Council

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1.0 INTRODUCTION

(A brief explanation of what the application is about)

1.0 The main body of the report set out below draws together the core issues in relation to the application including policy and other key material considerations. This is supplemented by an appendix which brings together planning history, additional matters and summaries of consultees' responses and public representations. Full details of the application, including plans, supplementary documents, consultee responses and public representations are available on the Council's Public access system www.milton-keynes.gov.uk/publicaccess. All matters have been taken into account in writing this report and recommendation.

1.1 This application is referred to the Development Control Panel for determination due to an objection received from Old Woughton Parish Council.

1.1 The Site

The application site currently comprises of a detached, two-storey, brick-built dwelling with timber cladding to the front elevation. The application site is located on the western side of Braunston in Woughton Park, towards the end of the cul-de-sac. Situated to the north-east, front of the dwelling is the site's on-plot parking provisions and front garden, with the rear garden being located to the south-west. Within the application site there are varying ground levels which slope from south to north and west to east. Located to the north of the application site, situated to the side of the dwelling is neighbouring property

No.10 Braunston, with No.14 Braunston to the south. Adjoining the application site to the rear (south-west) is neighbouring property No.9 Foxtan, Woughton Park.

1.2 The Proposal

This application seeks planning permission for the erection of a single storey rear and side extension to form a “wrap-around”, in addition to the conversion of the existing double garage into habitable living accommodation. External alterations in order to accommodate the garage conversion through the removal of the garage doors to the front elevation and the installation of a single entrance door with a fixed pane window. The rear elevation of the existing garage is also to be altered in the form of the installation of a single door and fixed pane window. In addition to this, external alterations are proposed in the form of amendments to the design and colour of the existing windows.

The proposed side extension seeks to extend off of the existing southern (side) elevation by 2.4 metres to expand the existing kitchen and form a new utility room. The proposed rear extension seeks to extend 3.2 metres off of the rear elevation and extend 8.8 metres in width to create an open plan kitchen and dining area. The extensions have been designed with a flat roof measuring 3.3 metres in height.

2.0 RELEVANT POLICIES

(The most important policy considerations relating to this application)

2.1 Local Policy

Core Strategy 2013

Policy CS 13: Ensuring High Quality, Well Designed Places”.

2.2 Adopted Milton Keynes Local Plan 2001-2011

D1: Impact of Proposals on Locality

D2: Design of Buildings

T15: Parking Provision

2.3 Supplementary Planning Documents

Parking Standards, 2016

Residential Development Design Guide, 2012.

2.4 National Policy

National Planning Policy Framework 2012

Section 7 – Requiring good design

3.0 MAIN ISSUES

(The issues which have the greatest bearing on the decision)

- 3.1 - Principle of Development
- Impact on Character of Local Area/ Existing Building
- Impact on Neighbouring Amenity
- Impact on Parking Provisions

4.0 RECOMMENDATION

(The decision that officers recommend to the Committee)

- 4.1 It is recommended that planning permission be granted subject to the conditions set out in Section 6.0 of this report.

5.0 CONSIDERATIONS

(An explanation of the main issues that have lead to the officer Recommendation)

5.1 Background

Prior to the submission of this current planning application, an application was submitted to the Local Planning Authority for a Certificate of Lawful Development (Reference: 15/02792/CLUP) for the development which is proposed under this current application. The Certificate of Lawful Development (CLUP) was refused on 12th January 2016 for the following reason:

“The proposed development is not lawful as the proposed rear extension adjoins the proposed side extension and therefore the proposed development is against the criteria for side and rear extension. As a result of the development the proposed extension would have a width greater than half the width of the original dwellinghouse. The proposed side extension would therefore not be permitted development and fails to satisfy Class A.1 J (iii) of Part 1 to Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015.”

- 5.2 Given the proposed single storey side extension seeks to adjoin the proposed single storey rear extension, creating a “wrap around” extension, both aspects had to be assessed against both the criteria’s for a single storey side and rear extension, resulting in the development exceeding half the width of the existing dwellinghouse. The proposed development failed to comply with the criteria set out under Class A, Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015, requiring a full planning application.
- 5.3 With this in mind, if the proposed single storey rear extension did not adjoin the single storey side extension it is likely the proposed development would conform with the requirements outlined in Class A Part 1 to Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015.

5.4 Principle of Development

Saved Policy D2 of the Milton Keynes Local Plan 2001-2011 sets out the criteria which govern the design of extensions to existing buildings. This policy ensures the design of any proposed extension will relate well to the surrounding area and character of the original building. The last sentence of this policy states that: “extensions to existing buildings will only be permitted providing the scale of the proposed extension does not detract from the character of the original building”. An extension to the dwelling would be acceptable in principle subject to the extension not detracting from the character of the original building nor should it result in an adverse impact on the amenity of neighbouring properties or the site’s parking provisions.

5.6 Design of Building

Saved Policy D2 of Milton Keynes Local Plan 2001 – 2011 states “extensions to existing buildings will only be permitted providing the scale of the proposed extension does not detract from the character of the original building”.

Good design is a key aspect of sustainable development and should contribute positively to making places better for people. This requirement is outlined within the National Planning Policy Framework, Section 7.

A large proportion of the proposed development would not be visible from the public realm as the existing dwelling and garage shields the proposed extensions from the local streetscene. A small proportion (0.8 metres in height by 2.4 metres in width) of the side extension’s roof would be visible above the roof of the existing garage which is sought to be converted. In addition to this, as part of the garage conversion there are to be alterations to the front elevation of the existing garage which will be visible. These include the removal of the two garage doors, the infilling of the garage’s front elevation, with the installation of a single entrance door and a high level fixed pane window.

The alterations to the appearance of the garage in order to accommodate the proposed garage conversion are considered to be acceptable as the proposed fenestration has been designed to match features found of the front elevation of the dwelling. The small proportion of the side extension’s roof above the existing roof of the garage is considered to be minor and therefore will not be expected to cause harm to the character and appearance of the local area. Given the majority of the proposed single storey rear and side extension is located to the rear of the property and shielded from the public realm it is considered these aspects of the proposed development will have a limited impact on the local streetscene.

- 5.7 Concerns have been raised regarding the design, style and colour of the windows which have been installed. Within the local streetscene, the window colour is predominately white. The existing openings have not altered in size; however there have been amendments to the appearance in terms of colour

and a reduction in the amount of window panes in the larger windows. Whilst the use of grey for windows is not a common colour, it is not considered by officers to have a harmful impact on the character and appearance of the local area.

- 5.8 In regard to the proposed extensions, a large proportion of glazing has been used in the design to create a modern appearance. This modern design is considered to be in keeping with the amendments to the existing windows on the dwellinghouse. The proposed single storey side and rear extension will increase the footprint of the existing dwelling, however it has been designed as a single storey only and therefore overall scale and design of the extensions form a subservient additions to the dwelling. Thus creating an acceptable pattern of development with no adverse impact on the character and appearance existing building.

The proposed development would be compliant with saved policy D2 of the Milton Keynes Local Plan 2001-2011 as the scale of the proposed extensions do not detract from the character of the original building.

5.9 Impact on Neighbouring Amenity

Saved policy D1(iii) of the Milton Keynes Local Plan 2001-2011 states:

“Planning permission will be refused for development that would be harmful for any of the following reasons ...an unacceptable visual intrusion or loss of privacy, sunlight and daylight”

In regard to the impact to neighbouring property No.10 Braunston, the proposed side extension will be shielded from this neighbouring property by the application site’s existing dwellinghouse. The proposed rear extension will be visible above the existing variety of boundary treatments in the form of timber fencing and landscaping from this neighbouring property. To mitigate this impact the proposed rear extension has been situated 3.6 metres in from the existing side elevation of No.12 Braunston to ensure the proposed development will not have a detrimental impact on the amenity of this neighbouring property in regard to outlook, and visual impact.

- 5.10 The proposed development will be built on higher ground when compared to No.10 Braunston. Although the proposed rear extension is of a single storey only, the development will appear higher when viewed from this neighbouring property. Whilst this is noted, on balance it is considered the proposed development will not have a detrimental impact in regard to a loss of privacy, sunlight and daylight.

It is acknowledged, that the applicant would be able to erect a single storey rear extension of up to 4 metres under Class A, Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015. This would be on the proviso that the single storey rear extension does not adjoin an existing side elevation of the dwellinghouse or side extension. When taking this into account, the proposed length along this

boundary is considered to be acceptable.

- 5.11 In regard to the impact to No.14 Braunston, there is a conservatory located along the common boundary with the application site (No.12 Braunston). This existing structure will obscure a large proportion of the proposed development from this neighbouring property, ensuring the proposed development will have an acceptable impact, in terms of privacy, visual intrusion and sunlight.
- 5.12 Due to the site's topography and the development being of a single storey only there will be a limited impact on the amenities of No.9 Foxton who is situated to the rear of the application site.

Overall, the proposed development will not have an unacceptable impact on neighbouring amenity in regard to visual intrusion, loss of privacy, sunlight and daylight. The proposed development would comply with saved policy D1 (iii) of Milton Keynes Local Plan 2001 – 2011 and Section 7 of the National Planning Policy Framework 2012.

5.13 Parking Provision

Saved Policy T15 of the Milton Keynes Local Plan 2001-2011 relates to ensuring development proposals meet vehicle parking requirements as laid out in the Parking Standards Supplementary Planning Document 2016 (SPD). The policy states:

“Development proposals should meet the following vehicle parking requirements:

ii) On-site parking should not be reduced below the maximum standard if it would be likely to result in off-site parking causing problems that cannot be resolved by on-street parking controls.”

Under the Parking Standards, 2016, Supplementary Planning Document, garages do not count as parking spaces. The conversion of the existing garage will not result in any loss to the site's on-plot parking provisions. The existing on-plot parking provisions to the front of the property will be retained and the proposed development does not result in the requirement for any additional on-plot parking to be provided.

The proposed development would accord with saved policy T15 of the Milton Keynes Local Plan 2001-2011 and the Parking Standards Supplementary Planning Document 2016.

5.14 Other Matters

Quality of Plans: Whilst the submitted drawings are basic, they have met the requirements for this application to be valid. An officer site inspection was carried out for this application, whereby the works were noted to have started. For this type of application planning permission can be retrospectively granted however, any work carried out without obtaining planning permission

first are at the risk of the applicant. When a site inspection was carried out the works were not complete, however the works appeared to have been in accordance with the submitted plans. The works would need to be completed in accordance with the approved plans, if planning permission were to be granted. Failure to do so would require a further application or Officer's would consider the expediency of enforcement action.

5.15 Possibility of a Shed: A concern has been raised by the Parish Council in regard to the possibility of the shed. During the application's validation period a shed was shown on the submitted, proposed floor plans. Following on from discussions with the Validation Officer, the shed was removed from the proposed floor plan and the submitted cover letter outlines that the shed does not form part of this application. Permission is only sought for the works outlined in the development's description.

5.16 Business: A number of concerns have been raised surrounding the possibility of a business operating from the converted garage. This current application seeks permission for alterations and extensions to a dwellinghouse and this application has been assessed on the development proposed only. Due to the number of concerns which have been received in regard to the operation of a business at the application site, it is recommended an informative is attached to any decision notice if planning permission is to be granted outlining the following:

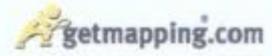
“Comments received as part of application have brought to the attention of the Local Planning Authority that a business may be operating from the application site; this may require planning permission for the part change of use to part of the dwellinghouse. It is recommended the applicant contacts the Local Planning Authority if this is the case to discuss this issue further to establish whether a further planning application is required.”

If an application is required for the operation of a business, this will provide with the Local Authority to assess the impact in regard to increase in traffic, on-plot parking provisions and impact to the locality/ neighbouring amenity.

6.0 CONDITIONS

(The conditions that need to be imposed on any planning permission for this development to ensure that the development is satisfactory. To meet legal requirements all conditions must be Necessary, Relevant, Enforceable, Precise and Reasonable)

None



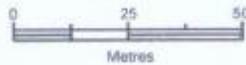
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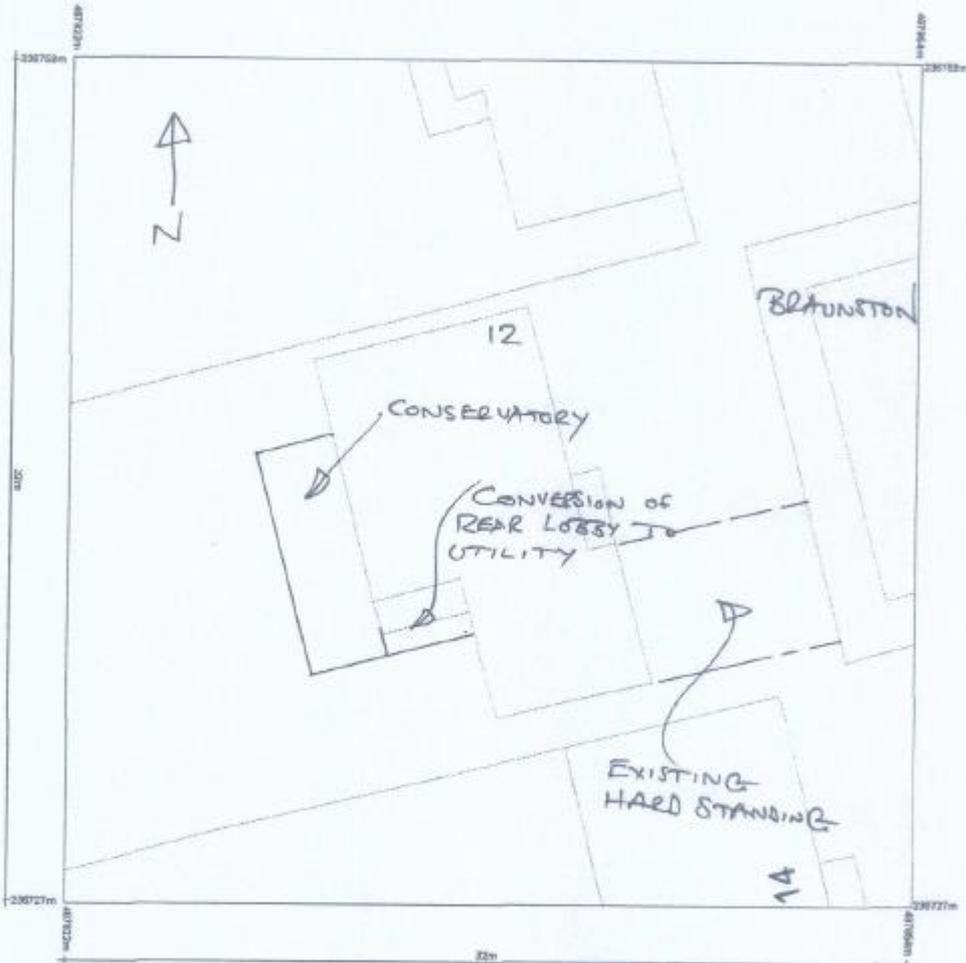
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The representation of features as lines is no evidence of a property boundary.

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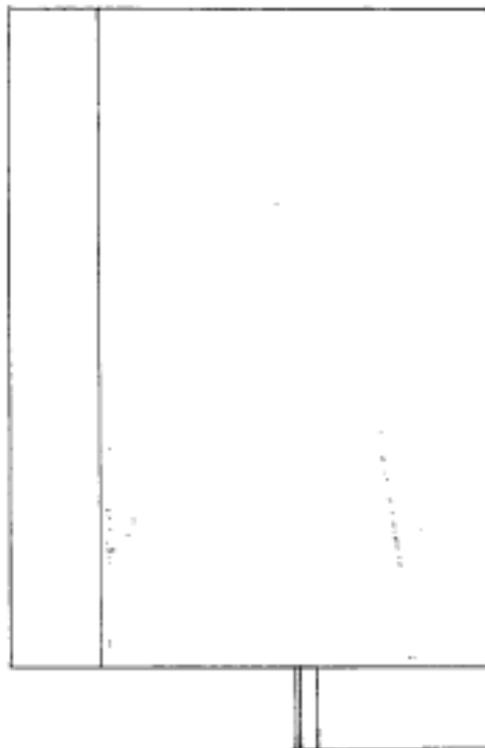
The representation of features as lines is no evidence of a property boundary.



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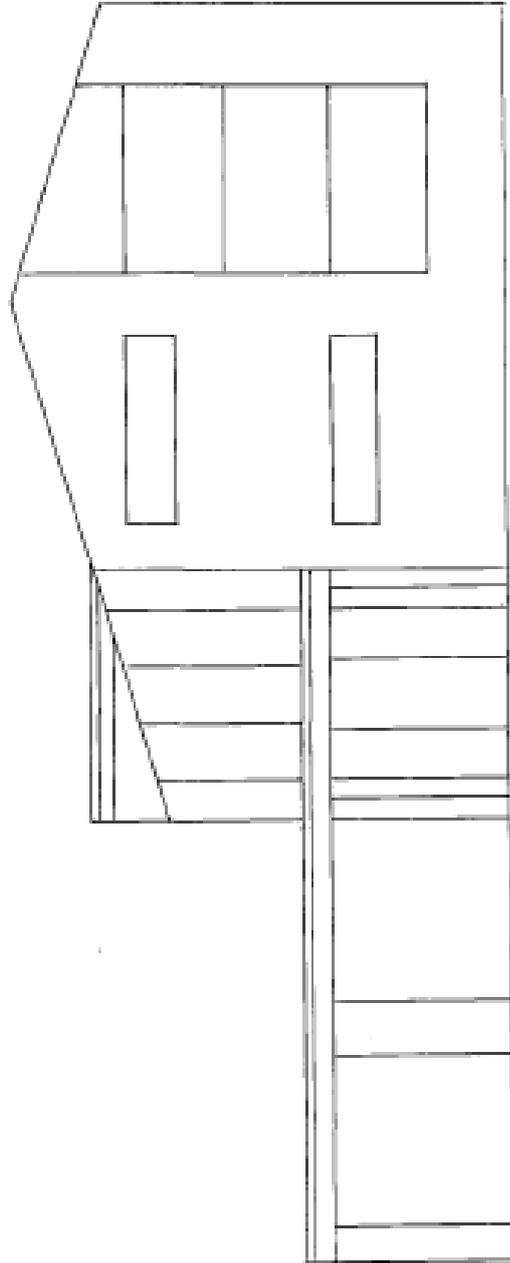
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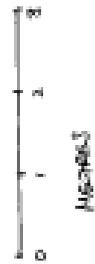
SCALE 1:50 @ A3
0 1 2 3
METRES

SCALE 1:50 @ A3
12 BRAUNSTON
EXISTING NORTH ELEVATION

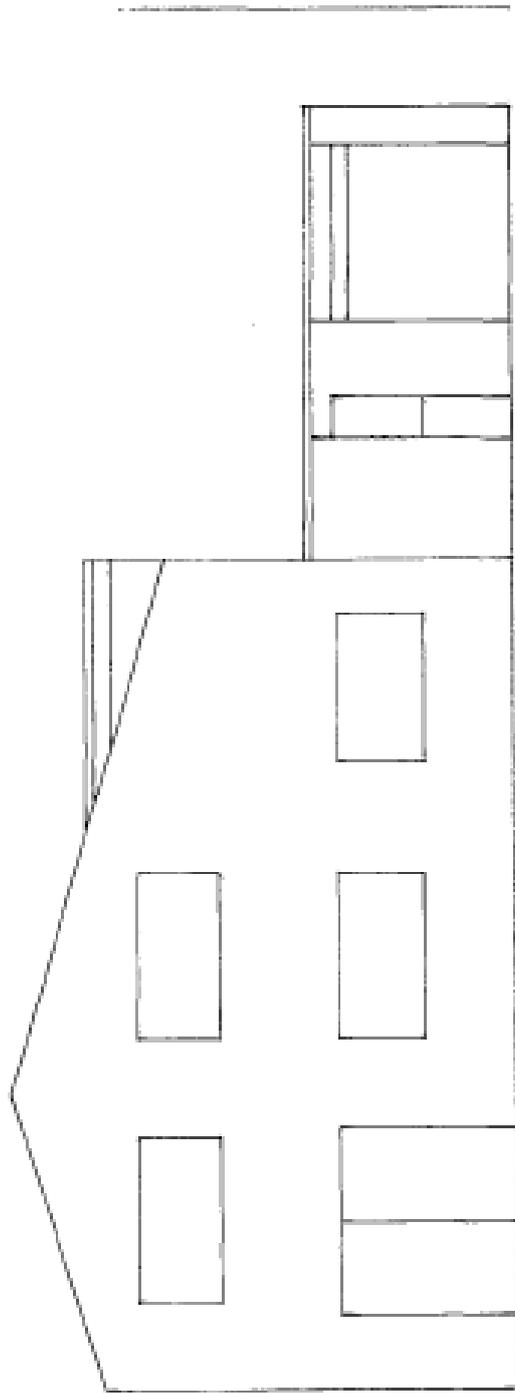
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SCALE 1:50 @ A3
12 BRAUNSTON
EXISTING FRONT ELEVATION



APPLICATION No. 16/00998/FUL

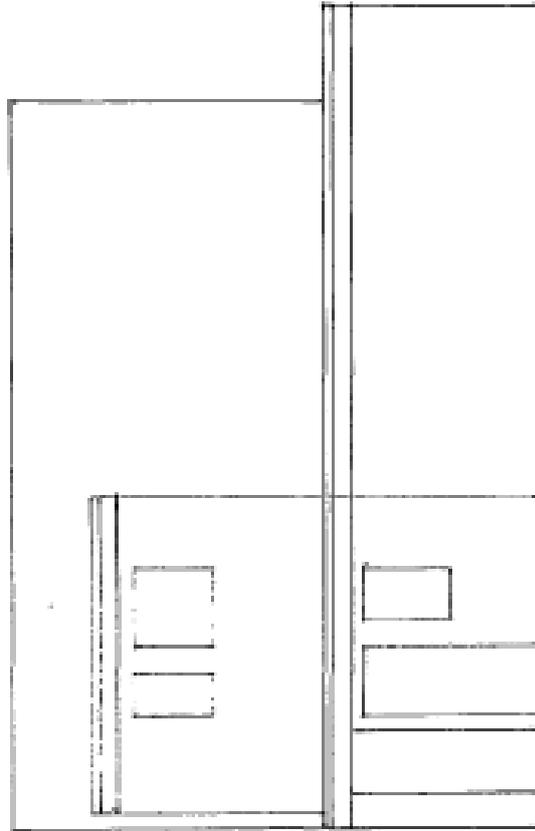


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12 BEAMSTON

EXISTING REAR ELEVATION



APPROXIMATE No. METRES B/FULL-



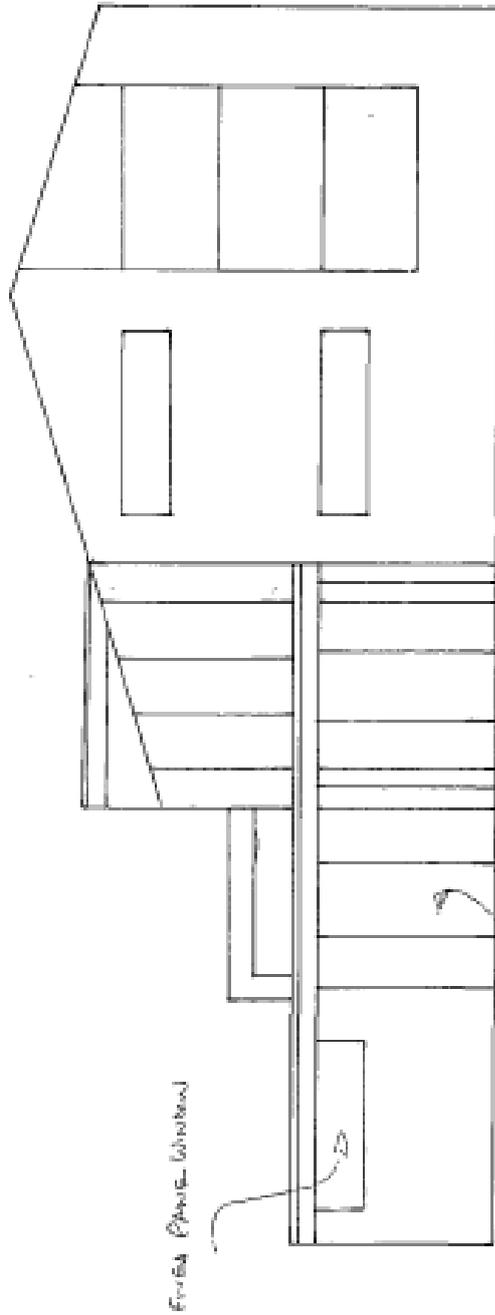
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12 BRANSTON

EXISTING SOUTH ELEVATION



APPLICATION No. 16/00048/FUL



SCALE 1:50 @ A3

12 BRANSTON

FRONT ELEVATION

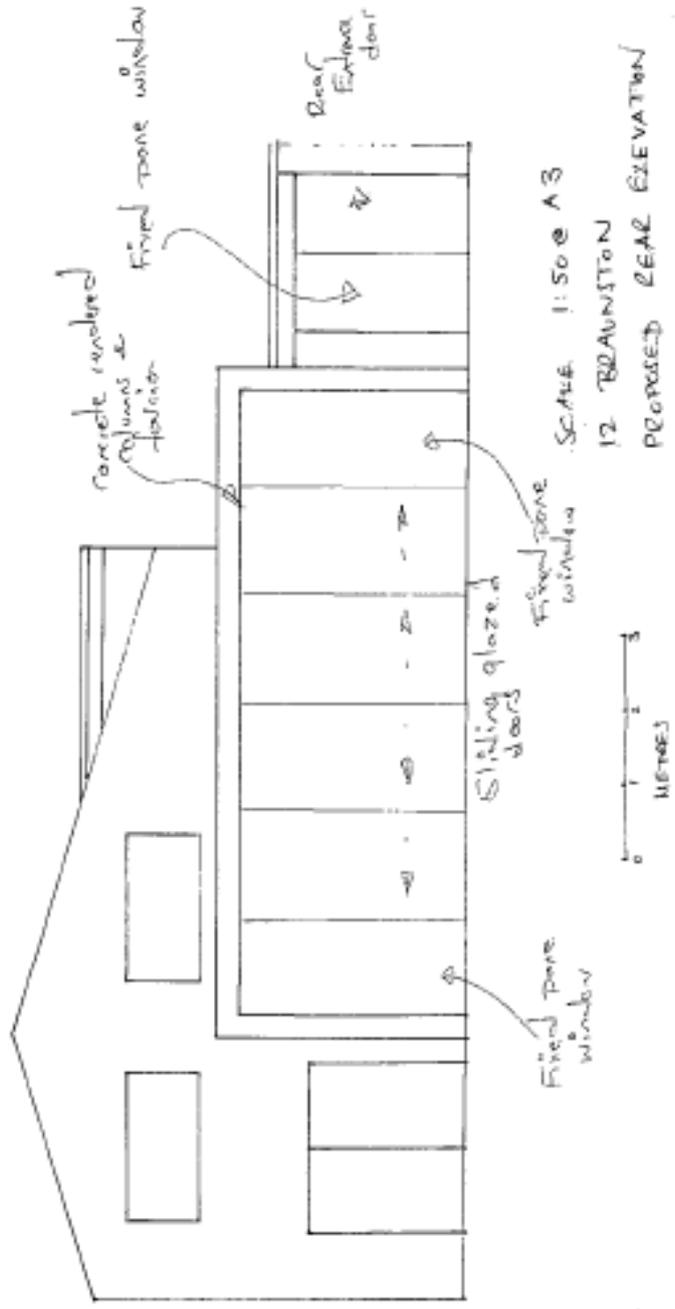


PROPOSED

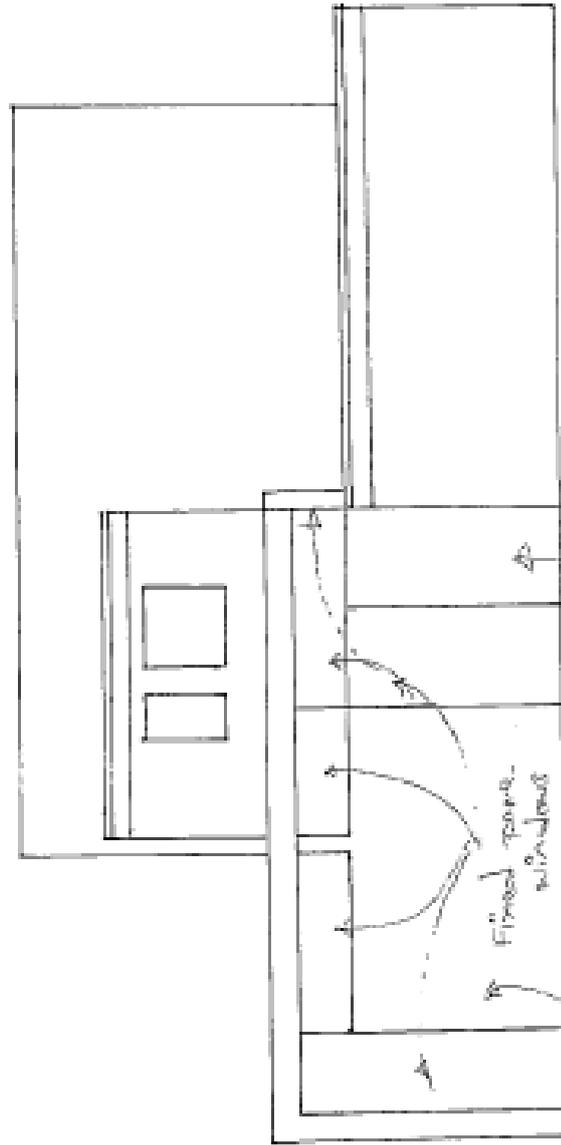
EXTERNAL DOOR
WITH SIDE LUGGAGE
(TO MATCH EXISTING
FRONT DOOR)

FRONT GLASS WINDOW

APPLICATION No. 16/04/2018/FUL



APPLICATION No. 16/00748/FUL-

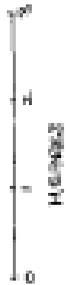


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12 'BRAUNSTERN'
PROPOSED SOUTH ELEVATION

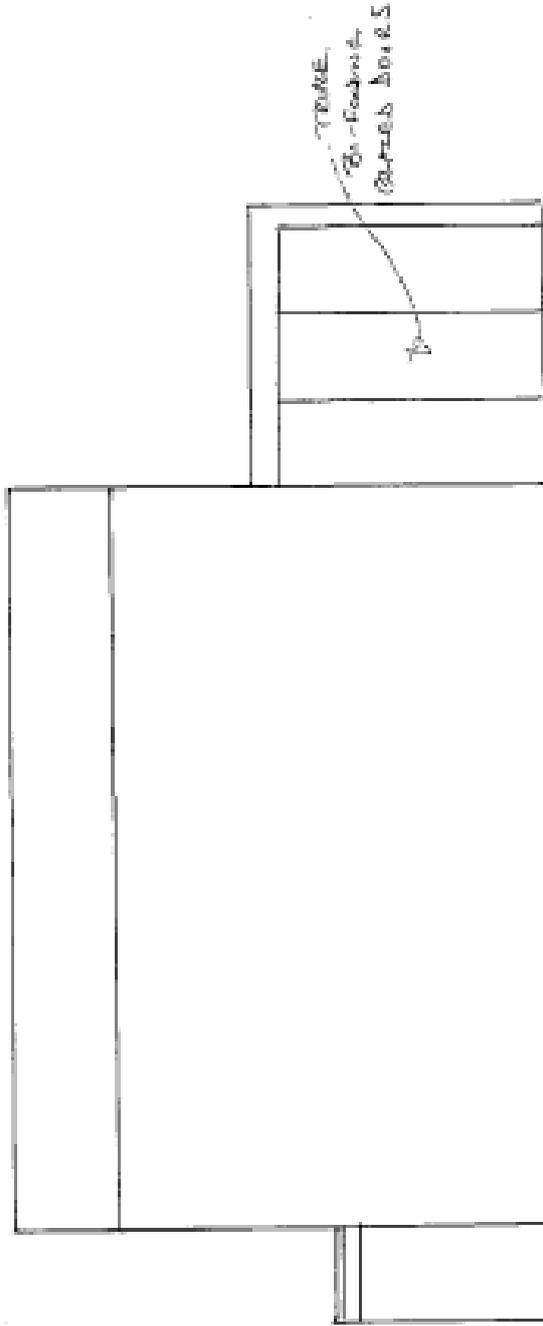
Entrance Door

Fixed pane windows

Concrete reinforced cavity wall



APPLICATION No. W/00948/FUL



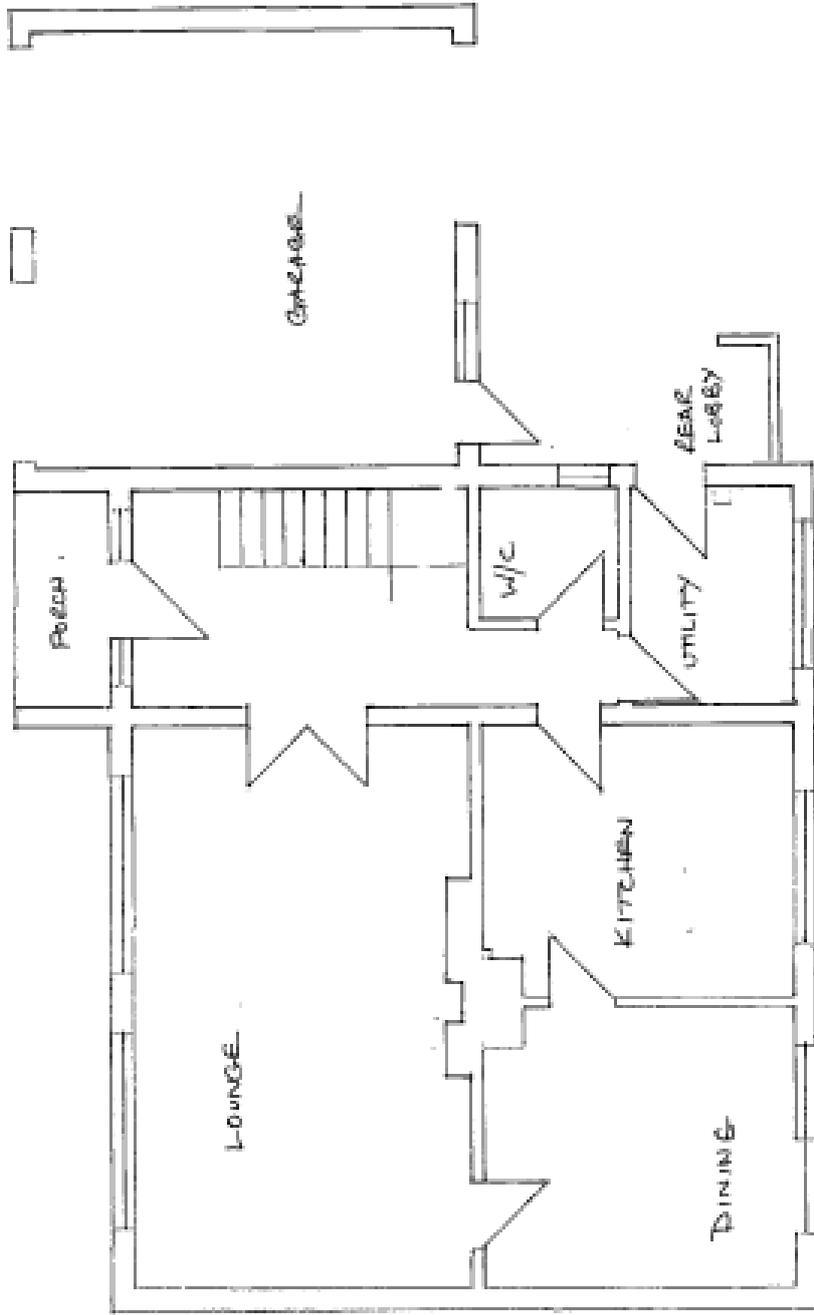
SCALE 1:50 @ A3

12 BAUNSTON

PROPOSED NORTH ELEVATION



APPLICATION No. 16/00948/ENV



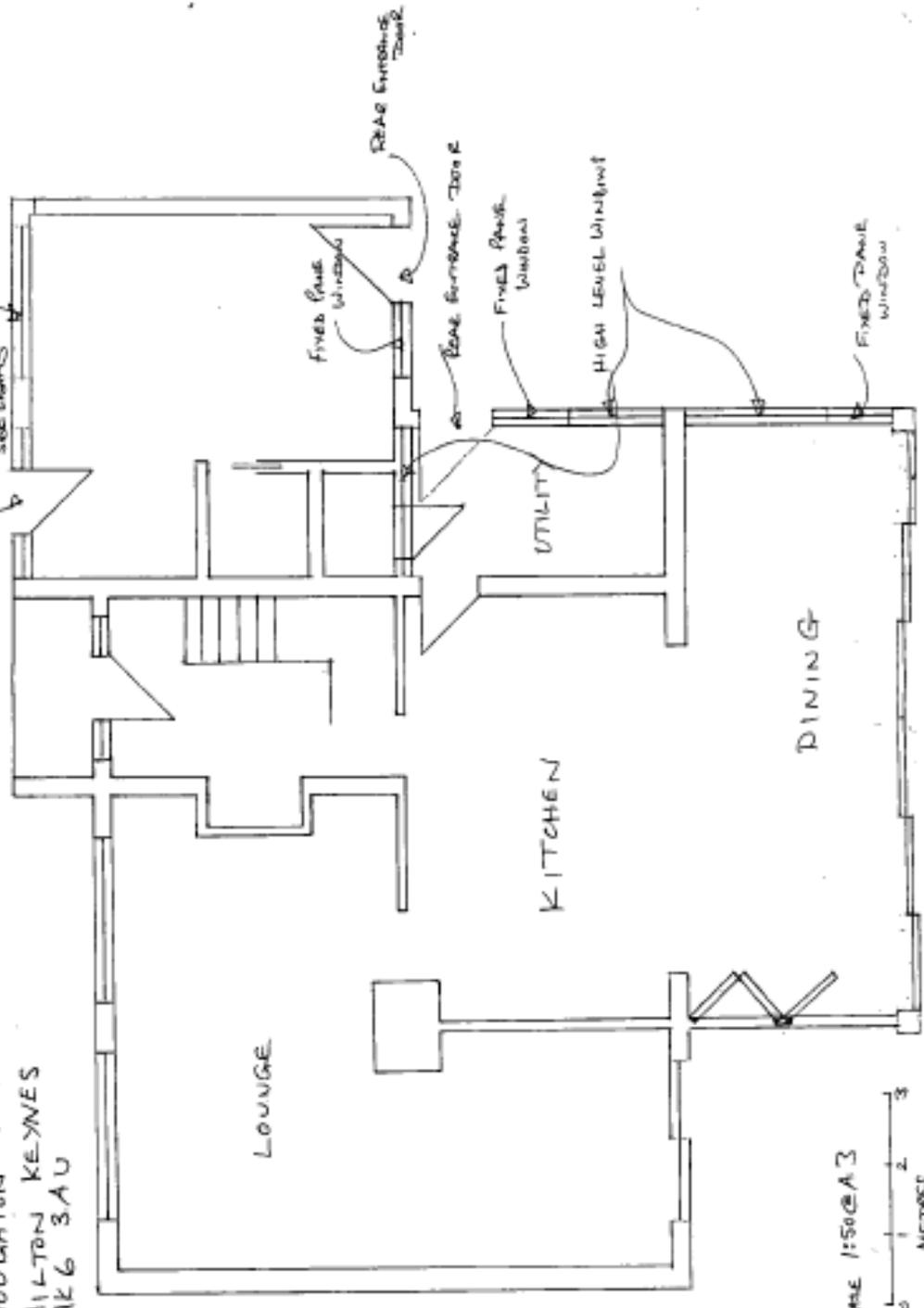
SCALE 1:50 @ A3
12 BRANLTON
EXISTING PLAN



12 BRAUNSTON
WUGHTON PARK
MILTON KEYNES
MK6 3AU

PROPOSED PLAN

16/00948/FUL
APPLICATION
FOR
REPLACEMENT
SIDE LIGHTS
FIXED PANE WINDOW



SCALE 1:500 A3
0 1 2 3
METRES

Appendix to 16/00948/FUL

A1.0 RELEVANT PLANNING HISTORY

(A brief outline of previous planning decisions affecting the site – this may not include every planning application relating to this site, only those that have a bearing on this particular case)

A1.1 15/02792/CLUP

Conversion of the garage to habitable living accommodation, single storey rear extension to form a conservatory and a single storey side extension
Certificate of Proposed Lawful Use of Development Refused 12.01.2016

Reason for refusal:

“The proposed development is not lawful as the proposed rear extension adjoins the proposed side extension and therefore the proposed development is against the criteria for side and rear extension. As a result of the development the proposed extension would have a width greater than half the width of the original dwellinghouse. The proposed side extension would therefore not be permitted development and fails to satisfy Class A.1 J (iii) of Part 1 to Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015.”

A2.0 ADDITIONAL MATTERS

(Matters which were also considered in producing the Recommendation)

A2.1 None

A3.0 CONSULTATIONS AND REPRESENTATIONS

(Who has been consulted on the application and the responses received. The following are a brief description of the comments made. The full comments can be read via the Council's web site)

Comments	Officer Response
A3.1 Cranfield Airport – No comments received.	Noted.
A3.2 British Waterways – Raised no comments	Noted.
A3.3 Parish - Old Woughton 1: Validation requirement The drawings submitted are of a very basic nature and therefore difficult to interpret. Can the planning officer confirm that the submitted documents meet the minimum standards required for validation	Noted and discussed in paragraph 5.14
A3.4 2: Retrospective Application We understand the building works are well advanced and the application is retrospective. Therefore can the planning officer confirm that the drawings submitted accurately represent the building as constructed. We would request that a site visit is carried out by the relevant MK Council officer to confirm that the dimensions, material specification and details shown on the drawings match that of the constructed building as it stands.	Noted and discussed in paragraph 5.14
A3.5 3: The Shed The applicant has submitted a cover letter (document ref: 00271967) stating that 'we are not now building the shed	Noted and discussed in paragraph 5.15

that is not now included in this application'. The wording of this letter has created uncertainty about what is actually being proposed in this application. Can the applicant confirm if the above statement relates to a structure already built that is to be demolished? Further clarification on this point would be welcomed.

- A3.6 I trust the above comments will be taken into account when considering how to determine the application and we look forward to receiving some clarification on the points raised. Noted
- A3.7 Ward - Campbell Park And Old Woughton - Cllr Brackenbury – **No comments received.** Noted
- A3.8 Ward - Campbell Park And Old Woughton - Cllr McDonald – **No comments received.** Noted
- A3.9 Ward - Campbell Park And Old Woughton - Cllr McCall – **No comments received.** Noted
- A3.10 **Local Residents** Noted
The occupiers of the following properties were notified of the application:

9 Foxton Woughton Park Milton Keynes
10 & 14 Braunston Woughton Park Milton Keynes

Three **Third Party** representations were received from the occupiers of 5, 10 and 14 Braunston, Woughton Park raising the following objections:
- A3.11 • Loss of Parking due to garage conversion Noted and discussed in paragraph 5.13

A3.12	<ul style="list-style-type: none"> • Application is retrospective 	Noted and discussed in paragraph 5.14
A3.13	<ul style="list-style-type: none"> • Windows installed are not in keeping with the general layout and design of the street, appear stark and have an unusual colour. 	Noted and discussed in paragraph 5.7
A3.14	<ul style="list-style-type: none"> • Conversion of the garage for business use. 	Noted and discussed in paragraph 5.16
A3.15	<ul style="list-style-type: none"> • Additional traffic and impact to the highway as a result of the garage conversion being used for a business. 	Noted and discussed in paragraph 5.16
A3.16	<ul style="list-style-type: none"> • Parking for a business. 	Noted and discussed in paragraph 5.16