

DEVELOPMENT CONTROL COMMITTEE

22 APRIL 2021

COUNCILLORS' ADDITIONAL PAPERS

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SPEAKING LIST

DEVELOPMENT CONTROL PANEL – 22 APRIL 2021

ITEM NO.	TITLE	REQUESTS TO SPEAK IN OBJECTION	TIME ALLOCATED	RIGHT OF REPLY OR SPEAKERS IN FAVOUR	TIME ALLOCATED
5b - 21/00016/FUL	12 Shepperton Close, Castlethorpe, Milton Keynes	Mr S Patrick	3 Mins	(TBA)	9 Mins
		Cllr P Ayles (Castlethorpe Parish Council)	3 Mins		
		Cllr A Geary (Ward Councillor)	3 Mins		
5c - 21/00130/FUL	5 Cheslyn Gardens, Giffard Park, Milton Keynes	Cllr M Whelan (Great Linford Parish Council)	3 Mins	Mr B Munro (Applicant's representative)	3 mins

Description New dwelling including new access and amenity space, new access and drive to existing dwelling (re-submission of 20/02803/FUL)

At 1 Wolverton Road, Castlethorpe, Milton Keynes MK19 7EP

For Mr J Markham

Statutory Target: 15th March 20201

Extension of Time: 29th April 2021

Ward: Newport Pagnell and Hanslope

Parish: Castlethorpe

Report Author/Case Officer: Charlotte Ashby
Planning Officer

Contact Details: 07795475595
Charlotte.ashby@milton-keynes.gov.uk

Team Manager: Chris Nash
Development Management Manager
chris.nash@milton-keynes.gov.uk

1.0 Recommendation

1.1 The recommendation remains to grant permission, subject to the conditions outlined in section 9 of the committee report. However, the wording of condition 11 has been amended as set out in section 5 this update paper.

2.0 Purpose of update paper

2.1 This update paper includes re-consultation comments from Castlethorpe Parish Council and seeks to clarify the position of the council in respect of the retained residential amenity space for the existing dwelling and to amend the wording of condition 11.

3.0 Additional Comments

3.1 Following the publishing of the delegated report re-consultation comments were received from Castlethorpe Parish Council as set out below;

“The parish council further considered the revised plans last night and agreed that in view of the changes made they are happy to withdraw their objections as follows:

1. The applicant has moved the main entrance for the principal residence away from the 'build outs' and the council agreed that this is as much as could reasonably have been done

2. On the orientation of the new property there is a Milton Keynes Design Policy that states that houses are meant to face their access onto the highway, in this case Bullington End Road. After discussions between yourself and Cllr Ayles, he recommended to the council that as the house is on a corner and the elevation that is facing Bullington End Road has the appearance of an acceptable 'frontage' that this objection should be withdrawn. This was also agreed.

The parish council would therefore like to withdraw their original objection.”

3.2 Therefore the original objection to the scheme has been withdrawn and there are no objections to the approval of the revised scheme.

4.0 Clarification on Amenity Space

4.1 In addition to paragraph 7.15 of the delegated report, to clarify paragraph 4.13.1 of the New Residential Design Guide states;

“Gardens for family housing should be a minimum of 10 metres in depth, although they can be shorter (say 7-8 metres) for wide frontage units.”

4.2 As such, the amenity space retained for the existing dwelling is considered to be acceptable given the overall width of 18 metres and depth of 7.6 metres. The width of the plot is considered by officers to be relatively wide, and therefore a reduced depth justified in this case.

5.0 Conditions

5.1 The wording for condition 11 has been amended to build in flexibility if superfast speeds are not possible in the area, therefore omitting the word superfast within the last sentence. The condition now reads;

Prior to the occupation of the development, details of how superfast broadband infrastructures will be delivered to the new dwelling, subject to network capacity being available, shall be submitted to, and approved in writing by, the Local Planning Authority. The agreed broadband infrastructures shall be installed prior to the first occupation of the dwelling.

Reason: To ensure that ducting infrastructure can be utilised to support the need for ever increasing broadband speeds and high capacity cabling with minimum disruption to the highway network in accordance with Policy CT9 of Plan:MK.

Application Number: 21/00016/FUL

Description Proposed 3m single storey rear extension and garage conversion (resubmission of 20/02875/FUL).

At 12 Shepperton Close, Castlethorpe, Milton Keynes, MK19 7HR

For Miss Rose Kelly

Statutory Target: 02.03.2021

Extension of Time: Yes – 29.04.2021

Ward: Newport Pagnell North and Hanslope

Parish: Castlethorpe Parish Council

Report Author/Case Officer: Rachel Larner
Planning Officer

Contact Details: 01908 254643
rachel.larner@milton-keynes.gov.uk

Team Manager: Chris Nash
Development Management Manager
chris.nash@milton-keynes.gov.uk

UPDATE PAPER

Additional Representations

A late representation was received from a neighbouring resident at No.10 Shepperton Close. The key points are summarised below:

- Concerns of the gym being used for commercial purposes (Paragraph 7.11)
- Gym noise/music (Paragraphs 7.10 and 7.12)
- Concerns that the garage conversion may be used as a separate dwelling (Paragraph 7.11)
- Flat roof of the garage conversion against the Castlethorpe Neighbourhood Plan and its impacts on residential amenity (Paragraphs 7.5 and 7.13)
- History of multiple 'similar' applications at a different site leading to the creation of a commercial gym

The latter point is not relevant to the current application as it refers to planning applications for a site in Newport Pagnell, and this application is for a householder development which is to be assessed on its own merits. The other points raised are addressed in the case officer's report, with the relevant paragraphs noted above. The late representation does not raise any additional issues than what has been raised previously and dealt with in the committee report.

All representations are available to view on Public Access

Application Number: 21/00130/FUL

Description Conversion of a double garage into accommodation for an elderly parent/carer

At 5 Cheslyn Gardens, Giffard Park, Milton Keynes, MK14 5JU

For Mr & Mrs Bates

Statutory Target: 15.03.2021

Extension of Time: 29.04.2021

Ward: Newport Pagnell South

Parish: Great Linford

Report Author/Case Officer: Tamlin Barton
Planning Officer

Contact Details: 07775111052
Tamlin.Barton@milton-keynes.gov.uk

Team Manager: Chris Nash
Development Management Manager
chris.nash@milton-keynes.gov.uk

UPDATE PAPER

1.0 PARAGRAPH 5.1 OF THE OFFICER'S DCP REPORT

1.1 It is clarified that the last sentence '*As a result of the potential independent use, the development is also considered to conflict with design policies D1 and D5 of Plan:MK.*' represents the view of the Parish Council.

2.0 ADDITIONAL COMMENTS

Great Linford Parish Council

2.1 Great Linford Parish Council has made a written representation which is an update to their original consultation response. The comments raise the following material considerations.

- The meaning of 'integrated' within Plan:MK Policy D6.
- References to a kitchen related installations on the text of the proposed plan.

- Accessibility of the annexe (no wheelchair door)
- Shared access

2.2 In answer to these points:

- Policy D6 does not state that developments should be 'physically' integrated with the host dwelling and it is considered in this case that the new garage use would be functionally integrated for the reasons laid out in the original officer's report which include, the minor nature of the internal amenities of the proposed converted garage, the lack of a kitchen and lack of separate garden and parking areas.
- Text relating to the original kitchen installation has been removed from the proposed plans in a revised drawing (shown below).
- Regarding accessibility and the door not being wheelchair friendly, there is no reason to assume that an elderly parent would necessarily be wheelchair bound and, as stated in the application description, the converted annexe might be used by a carer.
- There are no highways concerns in relation to shared access as no additional parking is required for the development.

2.3 The following comments are not material:

- Potential future use as an independent dwelling, this is not the proposal being considered in this application.
- Previous use of the main dwelling for Air B&B purposes

2.4 In answer to other comments:

- The site boundary and associated certificate in the application form is valid and is required by development management procedures.
- The kitchen was removed during the application process which makes the proposal compliant with Policy D6 of Plan:MK, insofar as ensuring that the annex remains ancillary and functionally dependant on the host dwelling.
- In answer to a question about the Council ensuring the annexe remains a separate annexe for an elderly parent, the Council cannot enforce this specifically. However, ensuring the garage conversion remains ancillary to the house and removing permitted development rights for erecting boundaries subdividing the plot are both enforceable and reasonably required to make the development acceptable in planning terms. These have been added in the list of conditions.

3.0 AMEDED PLAN

3.1 Proposed Plan

As discussed above, an amendment of the proposed plan has been received removing text references associated with the original kitchen installation.

4.0 ADDITIONAL CONSIDERATIONS

4.1 The additional comments from GLPC, the minor alteration to the report and proposed plan do not to raise new concerns.

5.0 RECOMMENDATION

5.1 The officer's recommendation remains the same, an approval in line with Paragraph 8.1 of the officer's DCP report with a modification of condition 1 to reflect the updated plan.

6.0 REVISED CONDITIONS

1. The approved development shall be carried out in accordance with the following drawings/details:

Plans received 18/01/2021:

Site Plans – Drawing No. 100.01 – A
Context elevations – Drawing No. 100.05 – A

Plans received 01/02/2021:

Proposed elevations – Drawing No. 100.04 – D

Plans received 21/04/2021:

Proposed plan – Drawing No. 100.03 – C

Reason: For the avoidance of doubt and in the interests of securing sustainable development.



SKY ARCHITECTURAL
 www.skyarchitectural.com
 russell.davison@promodular.co.uk
 Tel: 07968767670

Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall. Surround pipes in 100mm pea shingle. Provide 600mm suitable cover (900mm under drives). Shallow pipes to be covered with 100mm reinforced concrete slab over compressible material. Provide rodding access at all changes of direction and junctions. All below ground drainage to comply with BS EN 1401-1: 2009.

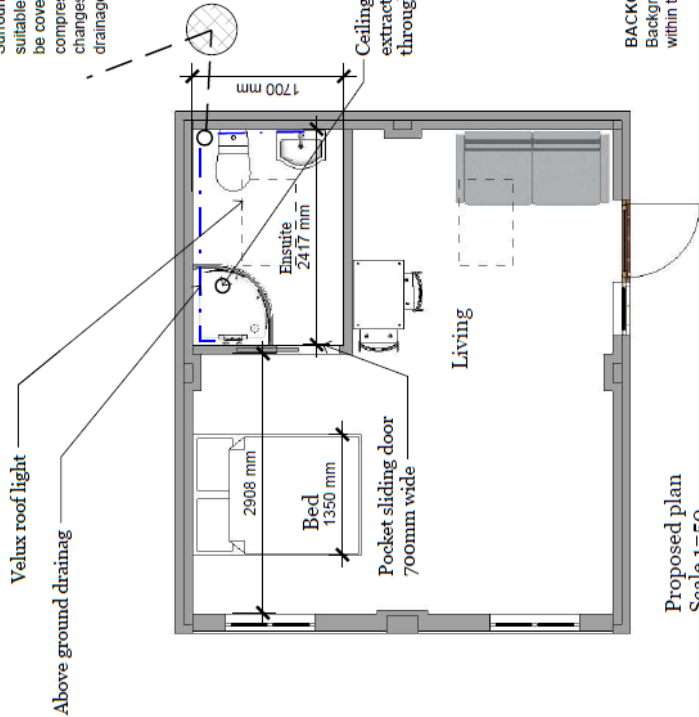
Underground quality proprietary UPVC 450mm diameter inspection chambers to be provided at all changes of level, direction, connections and every 45m in straight runs. Inspection chambers to have bolt down double sealed covers in buildings and be adequate for vehicle loads in driveways.

Above ground drainage to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage in accordance with part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used)

Wash basin - 1.7m for 32mm pipe 3m for 40mm pipe
 Bath/Shower - 3m for 40mm pipe 4m for 50mm pipe
 W/c - 6m for 100mm for single wc

All branch pipes to connect to 110mm soil and vent pipe. Waste pipes not to connect within 200mm of the wc connection.
 Supply hot and cold water to all fittings as appropriate.



Proposed plan
 Scale 1=50

BACKGROUND AND PURGE VENTILATION

Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm², and to bathrooms, WCs at a rate of 2500mm²
 Purge ventilation - New windows/rooflights to have openable area in excess of 1/20th of the floor area if the window opens more than 30°, or 1/10th of the floor area if the window opens less than 30°.
 Internal doors should be provided with a 10mm gap below the door to aid air circulation.
 Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

EXTRACT TO BATHROOM

Bathroom to have mechanical vent ducted to external air to provide min 15 litres / sec extraction. Vent to be connected to light switch and to have 15 minute over run if no window in room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

CLIENT
 Mr & Mrs Bates
 5 Cheslyn Gardens
 Giffard Park
 Milton Keynes
 MK14 5JU

PROJECT
 Garage conversion

File name
 5-CG-Garage-c3.layout

ISSUE
 30/08/20

Revision

B- Kitchen omitted

21-01-21

C- Notices amended

21-04-21

DESCRIPTION

Proposed plan

Scale
 see drawing

5-CG-G
100.03 -C

A1.0 FULL UPDATED CONSULTATION

A1.1 Great Linford Parish Council

5 CHESLYN GARDENS, GIFFARD PARK

APPLICATION NUMBER 21/00130/FUL

GLPC OBJECTS ON 3 POLICIES LISTED IN PLAN MK 2019

D1 – DESIGN

D5 – AMENITY STREET SCENE

D6 GRANNY ANNEXES – the MKC policy denotes that the proposal for a granny annex will be permitted where an extension to an existing dwelling is modest in size and subordinate in scale to the main dwelling. The annex should be designed in such a way that it can function as an **integrated part of the main dwelling** whilst allowing for a degree of independence for the occupants. Vehicular access and garden areas should be shared and no boundary demarcation or sub division of garden areas

This garage is detached from the main building and not appropriate to create **an integrated part of the main dwelling** Any such annex should be used for purposes ancillary to the main dwelling. This could be used as a separate dwelling and the main dwelling is believed to have been already used in the past for B&B accommodation.

Overall GLPC Comments

It is noted that this a revised plan with removal of a kitchen which could easily be installed at a later date. The specification still listed on 5CG – Garage – G100.03-B shows above ground drainage installation for washing and dishwasher as well as sinks. The sofa has been placed in this position where the kitchen was intended to be, why was this removed?

Cheslyn Garden (4,5 and 6) is a shared private driveway / access of 3 houses and also has shared drainage with an inspection cover being located in the garden of number 4 and therefore has limitations for all existing residents with parking and traffic flow

It should be noted that the block plan shows a red line around the whole house and driveway. This is incorrect, this is shared with the other residents and gives a false impression of ownership.

The 900mm door is a standard opening and if the annex is for an elderly parent who may in time need wheelchair access through a 1200mm opening, why isn't this been considered / future proofed?

If minded to approve, what power does MKC envisage they have to ensure that this remains a separate annex for an elderly parent (one I understand already lives at the dwelling) GLPC feel the small cul-de- sac is up to capacity and shouldn't be approved.