

APP 03

Application Number: 12/02150/MMAM

Minor

Minor material amendment to planning permission 11/01135/FUL (conversion of existing barn to dwelling and erection of 6 dwellings) to change house type on plot 7, new garages to plot 7 and plot 6, minor alterations to plot 3, 4 and 6 and alterations to parking layout (re-submission of 12/01333/FUL)

AT 27 Little Stocking, Shenley Brook End, Milton Keynes

FOR Bastion Homes Ltd

Target: 10th December 2012

Ward: Emerson Valley

Parish: Shenley Brook End & Tattenhoe
PC

Report Author/Case Officer: James Kirkham

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Head of Team: Jackie Fox

Contact Details: 01908 252283 jackie.fox@milton-keynes.gov.uk

1.0 INTRODUCTION

(A brief explanation of what the application is about)

1.1 The Site

The application site is the former grounds associated with Emerson Farmhouse which is a grade II listed farmhouse. The site is accessed from Little Stocking. The farmland, formerly associated with the farm holding was acquired by the New Towns Commission (NTC) and is now developed; as a result the former farmstead is now surrounded by modern housing estate developments. Details of the location of the site and its relationship to surrounding properties can be seen in the plans attached to this report.

1.2 The Proposal

The application site has permission to convert a barn on the site to a dwelling and erect 6 further dwellings under planning permission 11/01135/FUL. This was approved at Development Control Committee in 2011.

1.3 Consent is sought of a minor material amendment to the approved planning permission. The scheme seeks a number of variations to the originally approved drawings. These are:

- 1.4 - Alterations to the dwelling proposed on Plot 7 which now includes the addition of a rear extension.
- New garages to the front of plot 6 and plot 7.

- Minor alterations to some window/door positions to plots 3, 4 and 6 and also an integral garage to plot 3.
- Alterations to the layout of the parking as shown on the plans. The number of parking spaces serving this application remains the same as the original approval at 18 spaces

- 1.5 Permission has also been consented for a further 2 dwellings adjacent to the entrance from Little Stocking and the extension and refurbishment of the main farm house. These were approved at Development Control Committee in 2011 and were under different planning consents and remain unaltered by the proposal.
- 1.6 Full details of the proposal as described above can be seen in the plans appended to this report.

2.0 RELEVANT POLICIES

(The most important policy considerations relating to this application)

2.1 National Policy

National Planning Policy Framework paragraphs:

Para 14 Presumption in Favour of Sustainable Development

Para 17 Core Planning Principles

Para 39 Parking

Para 49 Housing

Paras 56, 57, 58, 60, 61, 63, 64, 65, 66 Design

Para 69 Crime

Para 129, 131, 132, 134, 136, 137 Historic Environment

Para 203, 204, 205, 206 Planning conditions and obligations

Para 215, 216 Implementation

2.2 Local Policy

Core Strategy

CS13 High Quality Well Designed Places

CS20 The Natural and Historic Environment

Adopted Milton Keynes Local Plan 2001-2011

H7 (Housing on unidentified sites)

D1 (Impact of Proposals on Locality)

D2 (Design of Buildings)

D2A (Design of New Development)

D4 (Sustainable Construction)

HE5 (Development Affecting the Setting of a Listed Building)

T10 (Traffic)

T15 (Parking Provision)

Supplementary Planning Guidance

Parking Standards For Milton Keynes (2005) (Now partially superseded)

Addendum to Parking Standards for Milton Keynes (2009)

3.0 MAIN ISSUES

(The issues which have the greatest bearing on the decision)

- 3.1 1. The main issue with this application is whether the proposed amendments to the approved scheme result in a development that would be materially different from the original.

4.0 RECOMMENDATION

(The decision that officers recommend to the Committee)

- 4.1 It is recommended that planning permission be granted subject to the conditions set out at the end of this report.

5.0 CONSIDERATIONS

(An explanation of the main issues that have lead to the officer Recommendation)

5.1 Minor Material Amendments

In order to introduce greater flexibility, the General Development Procedure Order has been modified to allow applications for "minor material changes" to be made to modify a development after planning permission has been granted. This flexibility was achieved by making changes to Section 73 of 1990 Act, which allows changes to conditions applying to existing permissions, effectively varying the permission.

- 5.2 There is not statutory definition for a 'minor material amendment' however government guidance advises that:

"A minor material amendment is one whose scale and nature results in a development which is not substantially different from the one which has been approved."

In determining the application the guidance advises that by definition the development will have been judged to be acceptable in principle at an earlier date. The applications should be determined in accordance with the development plan and other material considerations but local planning authorities should focus their attention on national or local policies or other material considerations which may have changed significantly since the original grant of permission, as well as the changes sought.

- 5.3 It is worthy to note that the current application has been subject to full public consultation with neighbouring properties and other consultees as per the normal consultation process.

- 5.4 The proposed changes are considered to be appropriate to be dealt with under the minor material amendments process. The scale and nature of the proposed changes is not considered to be substantially different to those which were approved under 11/01135/FUL. There is no increase in dwelling numbers and the layout remains broadly the same as the approved scheme with only minor alterations to the buildings and the parking layout. Given this conclusion the next step is to consider the changes in the scheme against the

relevant local and national planning policy.

5.5 Whether the proposed changes are acceptable

The most significant changes to the approved scheme are the alterations to the footprint and design of the dwelling on Plot 7 and the addition of two new garages.

5.6 The proposed development is with the setting of the listed building and has been designed to have a 'farmyard' character with the use building styles, scale and materials. The proposed alterations to the plot 7, proposed new garages and the minor alteration to the fenestration on the other plots are not considered to undermine this character of the overall development. It is not considered that the massing of plot 7 will not be substantially increased and the maximum height of the proposed dwelling will be no higher than the originally approved scheme.

5.7 Whilst the garages will increase the amount of development on the site, they are considered to be sited and designed in such a manner not to adversely impact on the overall character of the scheme. The Conservation Officer has been consulted as the development is within the former ground of Emerson Farmhouse, a grade II listed property, and has raised no objection to the proposed alterations. Overall the alterations are therefore considered to be acceptable in design terms and in regard to the setting of the listed building and character of the development.

5.8 The proposed garage serving plot 7 would be located adjacent to the blank side elevation of 11 Bushes Bartrams and would therefore not significantly impact on the amenity of this property. The garage serving plot 6 would also be sited to ensure it does not significantly impact on the neighbouring properties amenity.

5.9 Residents have raised concerns over the alterations to plot 7 and the impact on the adjacent existing properties. The proposed alterations to plot 7 will result in the built form being closer to 17 Angora Close to the west of the site. However given the scale of the proposals and the relationship between the windows on the rear of this property and the proposals, the alterations to this dwelling are not considered to significantly impact on the outlook of the property. The occupier of this property has also raised concerns over a loss of privacy to their property as a result of the alterations. However there are only two ground floor secondary windows in the new part of the western elevation of plot 7 closest to this property and as these are ground floor windows they are not considered to result in significant overlooking. The windows on the first floor in the amended part of plot 7 are also not considered to result in significant levels of overlooking due to the oblique angle.

5.10 The occupier of 20 Angora Close has also raised concerns over loss of privacy and outlook from the altered proposals. Whilst the proposal will result in some additional overlooking to the property and loss of outlook to this property, the first floor windows facing this property and the additional

extension to plot 7 would be approximately 30 metres from the rear of this property which is considered to be a sufficient distance to ensure the proposal does not unacceptably impact upon this properties amenity. The Council would normally expect 22 metres between first floor windows facing each other and the proposal is in excess of this.

- 5.11 In relation to parking there will be no increase in bedroom numbers as part of the proposal and the proposal does not alter the overall amount of parking spaces which remains at 18 spaces. This is in accordance with the adopted parking standards. The alterations to the parking layout spaces are considered to be acceptable and help the parking spaces relate better to the units they serve. The highway engineer has raised concern over the access to plot 6 and the applicant has been requested to widen the access so it does not conflict with the proposal. Amended plans have been received and the highway engineers' comments are awaited. Subject to this alteration being acceptable to the highway engineer the proposals are considered to be acceptable with regards to parking and access.
- 5.12 In terms of planning conditions the minor material amendment procedure requires that the decision notice be fully reproduced but substituting the old plans for the new. Therefore, aside from the standard condition requiring the change in approved plans list the same conditions are proposed as the original approval, which are detailed below. It also means that a new Section 106 agreement will be required that references this consent rather than the original approval to ensure the applicants carry out their obligations regarding policy D4 of the Local Plan.

6.0 CONDITIONS

(The conditions that need to be imposed on any planning permission for this development to ensure that the development is satisfactory. To meet legal requirements all conditions must be Necessary, Relevant, Enforceable, Precise and Reasonable)

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To prevent the accumulation of planning permissions; to enable the Local Planning Authority to review the suitability of the development in the light of altered circumstances; and to comply with section 51 of the Planning and Compulsory Purchase Act 2004. (D11)

2. The development shall not begin until details of the adoptable estate road and the footway linking the site and the Redway on Whaddon Road have been submitted to and approved in writing by the local planning authority and no dwelling shall be occupied until the estate road which provide access to it from the existing highway have been laid out and constructed in accordance with the approved details. Notwithstanding details on the submitted plans the parking spaces shown parallel to the carriageway shall be sited and laid out to a dimension of 6 metres for each space plus the entrance and exit flares.

Reason: In order to minimise danger, obstruction and inconvenience to users

of the highway and the development.

3. Prior to the commencement of the development hereby permitted, details of the disposal of surface water from the highway shall be submitted to and approved in writing by the Local Planning Authority. No dwelling shall be occupied until the works for the disposal of surface water have been constructed in accordance with the approved details and the approved works shall be permanently retained.

Reason: To minimise danger and inconvenience to highway users.

4. The scheme for parking indicated on the approved plan number 09100(2-)110 Rev J shall be laid out prior to the initial occupation of the development hereby permitted and those area shall thereafter shall be retained and not be used for any other purpose.

Reason: To enable vehicles to draw off and park clear of the highway to minimise danger, obstruction and inconvenience to users of the adjoining highway.

5. A landscaping scheme, which shall include provision for the planting of trees and shrubs, shall be submitted to and approved by the Local Planning Authority before any part of the development is commenced. The scheme shall show the numbers, types and sizes of trees and shrubs to be planted and their location in relation to proposed buildings, roads, footpaths and drains. All planting in accordance with the scheme shall be carried out within twelve months of commencement of development. Any trees or shrubs removed, dying, severely damaged or diseased within two years of planting shall be replaced in the next planting season with trees or shrubs of such size and species as may be agreed by the Local Planning Authority. (L01)

Reason: To protect the appearance and character of the area and to minimise the effect of development on the area.

6. The external materials to be used in the development shall be in accordance with samples to be submitted to and approved in writing by the Local Planning Authority before any work is commenced.(M03)

Reason: To ensure that the development does not detract from the appearance of the locality.

7. Details of the proposed finished floor levels of all buildings and the finished ground levels of the site, in relation to existing site levels of surrounding property, shall be submitted to and approved by the Local Planning Authority before any work commences. The development shall be carried out in accordance with the approved levels. (G03)

Reason: To ensure that construction is carried out at suitable levels having regard to drainage, access, the appearance of the development and the amenities of neighbouring properties.

8. A scheme showing the proposed boundary treatment of the plots shall be submitted to and approved by the Local Planning Authority before any part of the development is commenced. The scheme shall show the type and height of fences, hedges, walls or other means of enclosure, and these shall be provided in accordance with the approved scheme before the dwellings are first occupied. The approved fence, hedge or wall shall subsequently be retained to the satisfaction of the Local Planning Authority. (G06)

Reason: To ensure a satisfactory appearance for the development in the interests of visual amenity, a reasonable degree of privacy for occupiers of the proposed dwellings, and to safeguard the privacy and amenities of the occupiers of existing neighbouring dwellings.

9. Prior to the commencement of the development hereby permitted, details of surface water drainage for the site shall be submitted to and approved in writing by the Local Planning Authority. The drainage works shall be constructed in accordance with the approved details before the development is first occupied and the approved drainage scheme shall be permanently retained.

Reason: To ensure satisfactory drainage of the site.

10. Building works shall not commence until vehicle wheel cleansing facilities have been provided on the site to the satisfaction of the Local Planning Authority. Such facilities shall be used by all vehicles leaving the site and shall be permanently maintained in working order throughout the construction period.(S02)

Reason: To ensure that construction works do not prejudice conditions of safety and cleanliness along the neighbouring highway.

11. No building or other site works likely to cause nuisance to adjoining occupiers shall be carried out before 8.00 am or after 6pm Mondays to Fridays, nor before 8am or after 1pm on Saturdays, or at any time on Sundays or Bank Holidays.(S04)

Reason: To limit the detrimental effect on adjoining occupiers by reason of noise and disturbance.

12. Pursuant to the Town and Country Planning General Permitted Development Order 1995 (as amended) or any Statutory Instrument revoking or re-enacting that Order, the provisions of Article 3(1) and Classes A, B and C of part I of Schedule 2 to the said Order (relating to extensions and alterations to the roofs) shall not apply to the dwelling to which this permission relates and no such development shall be carried out without the permission of the Local Planning Authority being first obtained.

Reason: To enable the Local Planning Authority to assess the implications of additional development on the site.

13. The existing trees and boundary landscaping identified on the submitted site survey plan and shown as being retained on the approved proposed site layout plan shall be protected during the course of development by the erection of barriers. The details of the siting and specifications of these barriers shall be submitted to and be approved in writing by the Local Planning Authority prior to the commencement of development and maintained thereafter.

Reason: To ensure adequate protection for existing trees and landscaping.

14. The garages hereby permitted shall not be used for any purpose other than those incidental to the use of a dwelling and no trade or business shall be carried on therefrom. (E04)

Reason: To ensure that the development does not prejudice the amenities of the locality and to ensure retention of the garages for vehicle accommodation or ancillary uses only.

15. Before any works (to include demolition or site clearance) commence, the applicant shall implement in full the precautions set out in the Great Crested Newt Survey Report (FPCR for Bastion Homes Ltd: final version dated 01/09/2011) paras 4.7, 4.8, and 5.1 - 5.3. This shall include application for a European Protected Species licence if great crested newts are found to be present on the site (para. 4.7).

Reason: To safeguard great crested newts and reptiles as required by law and saved Policy NE2 of the Milton Keynes Local Plan 2001 - 2011.

16. In carrying out the development hereby consented the applicant shall implement in full the measures set out in the Outline Biodiversity Enhancement Proposals (FPCR for Bastion Homes Ltd: final version, 01/09/2011) paras 2.3 and 12 and Figs 2 and 5.

Reason: to provide biodiversity enhancements as required for developments of five or more dwellings by saved policy NE3 of the Milton Keynes Local Plan.

17. In carrying out the development hereby consented the applicant shall take appropriate precautions to avoid harm to breeding birds (including nests, eggs and young) as set out in the Ecology Assessment (SLR Consulting for Bastion Build Ltd, April 2011) para. 4.4.

Reason: to safeguard breeding birds as required by law and saved policy NE2 of the Milton Keynes Local plan.

18. The development hereby permitted shall be carried out in accordance with the approved Sustainability Statement unless agreed in writing by the Local Planning Authority. The scheme shall be implemented in full prior to the first use of the building /occupation of each dwelling.

Reason: To ensure that the development complies with the Council's objective for Sustainable Development in accordance with Policy D4 of the Adopted Local Plan: 2001-2011.

19. Prior to the commencement of the development details of the site waste management strategy to be implemented by the contractor throughout the construction process shall be submitted to and approved in writing by the Local Planning Authority. The approved measures shall be implemented and used throughout the whole of the construction process until the development is completed. Regular reports are to be submitted to the Council to verify the implementation of the plan.

Reason: To minimise construction waste and encourage the reuse or recycling of waste materials inline with the requirements of Policy D4 of the Milton Keynes Local Plan 2001-2011.

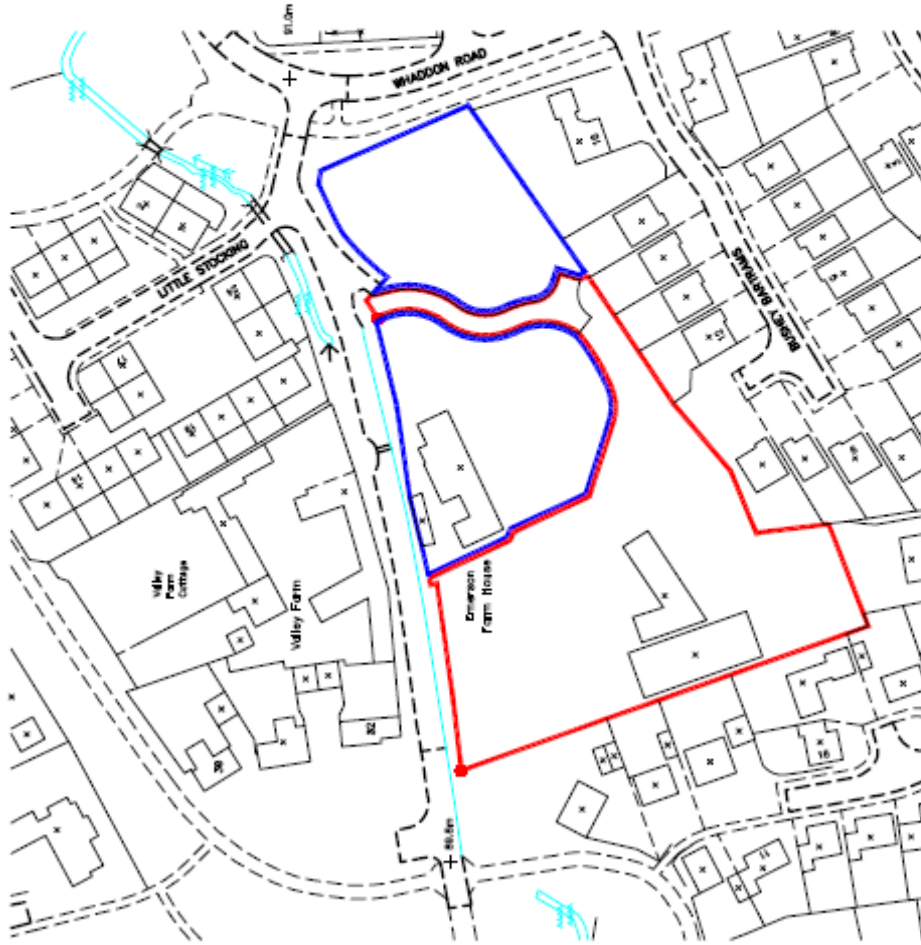
20. Prior to commencement of the development a report detailing how 10% of materials (by value) will be sourced from reused or recycled sources shall be submitted to the Council for approval. The development shall be carried out in accordance with the approved scheme.

Reason: To ensure the sustainable use of materials inline with the requirements of Policy D4 of the Milton Keynes Local Plan 2001-2011.



Saturn Business Park
Bedford Heights Manton Lane
Bedford MK41 7PH
Tel 01234 270588

PROJECT:	Emerson Farm Shenley Brook End		
DRAWING NO.:	Location Plan Plots 1 - 7		
SCALE:	1:1250	DATE:	April 11
CREATED BY:		DATE:	WT
CHECKED BY:		DATE:	
PROJECT NO.:	09100(2-)/97		



Road Flitches
 Access to 80mm Brindle Block Paving
 Private Drive Terrace
 Courtyards and parking spaces
 Tegular Paving



Note: 1. All dimensions are to the face of the wall unless otherwise stated.
 2. All dimensions are to the centerline of the road unless otherwise stated.
 3. All dimensions are to the centerline of the driveway unless otherwise stated.
 4. All dimensions are to the centerline of the path unless otherwise stated.
 5. All dimensions are to the centerline of the boundary unless otherwise stated.
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 9. All dimensions are to the centerline of the boundary unless otherwise stated.
 10. All dimensions are to the centerline of the boundary unless otherwise stated.



Emerson Farm House.
 27 Little Stocking,
 Shenley Brook End,
 Hemel Hempstead, Herts, SG9 7BG.
 Tel: 01908 749433.

Project	Emerson Farm Shenley Brook End
Drawn by	Ground Floor Plans
Date	1:2000 1/20th Aug 12 WT
Scale	1:2000 1/20th Aug 12 WT
Revision	
Drawn by	
Checked by	
Project No.	081002/110
Sheet No.	J

Ground Floor Plan



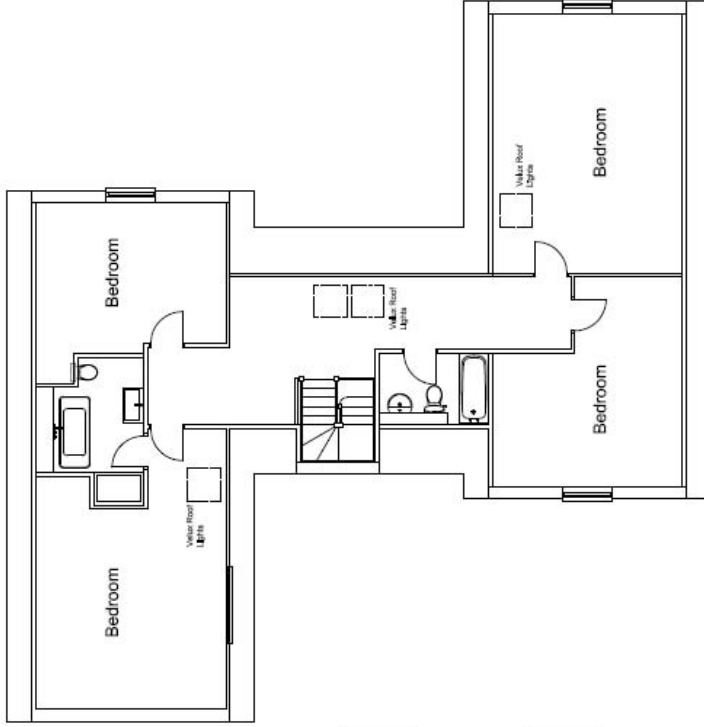
Location Plan

Read Our Full Brochure on page 10 or visit our website at www.bastionhomes.co.uk

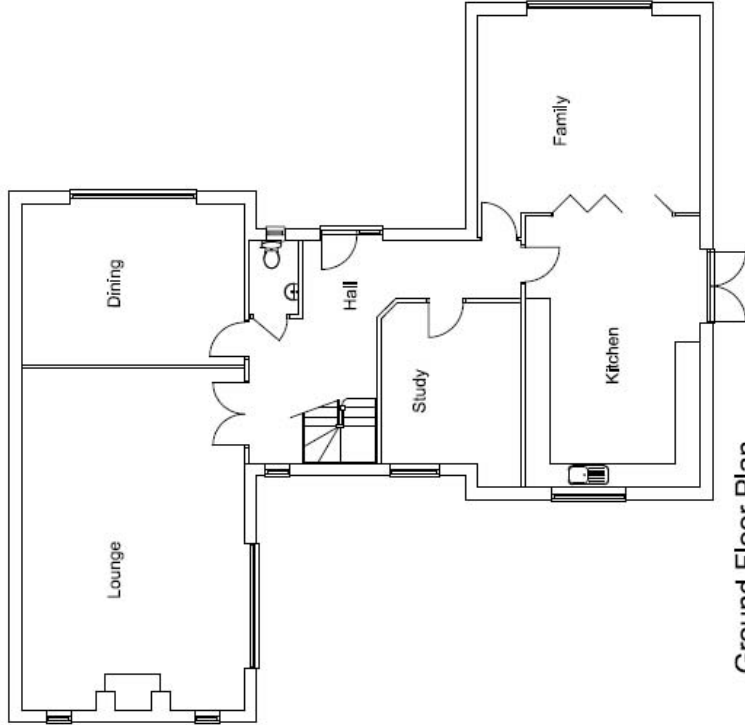


Emerson Farm House.
27 Little Stocking,
Shenley Brook End,
Milton Keynes MK5 7BG.
Tel: 01908 749433.

PROJECT	Emerson Farm Shenley Brook End		
DESIGNED BY	Floor Plans Plot 7		
SCALE	1:100	DATE	July 10
DESIGNED BY	WT	DATE	WT
PROJECT NO.	09100(2)-116		VERSION
			A

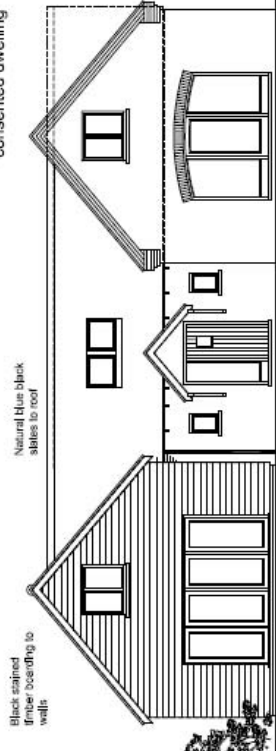


First Floor Plan



Ground Floor Plan

Note Dotted red line indicates extent of consented dwelling



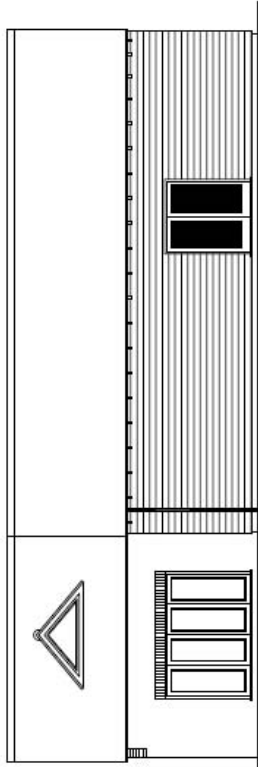
East Elevation

Hardwood screen natural stained.

Candy roof to front entrance door supported by timber gables brackets

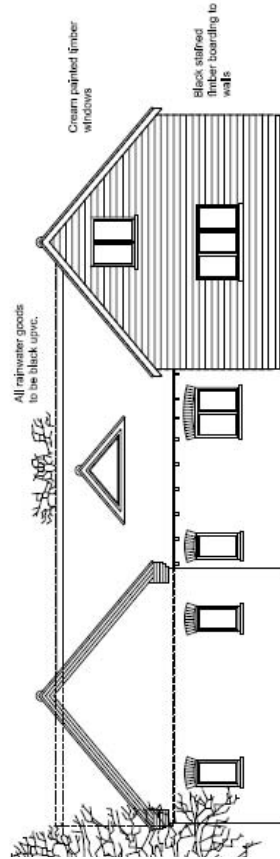
Hardwood screen natural stained with brick arch over

Natural blue black slates to roof



South Elevation

Cream painted timber french doors



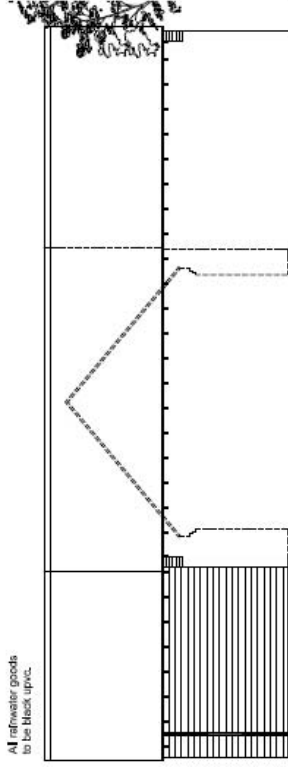
West Elevation

Brick arches to windows

Candy roof to front entrance door supported by timber gables brackets

Hardwood screen natural stained with brick arch over

All rainwater goods to be black upvc.



North Elevation

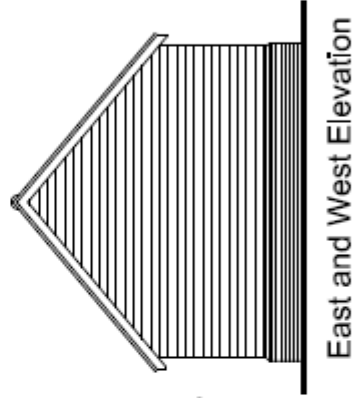
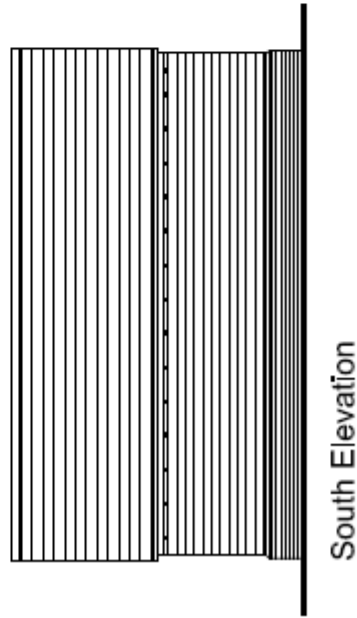
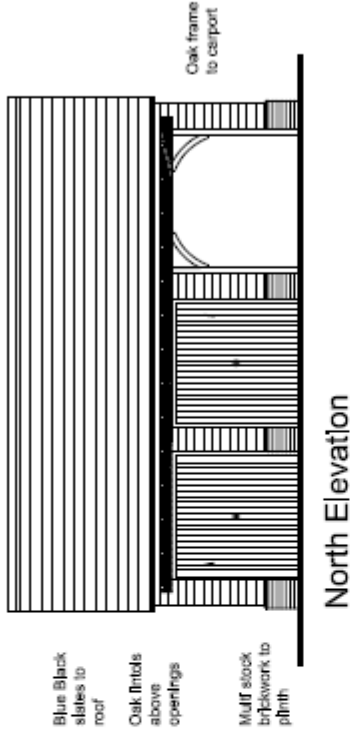
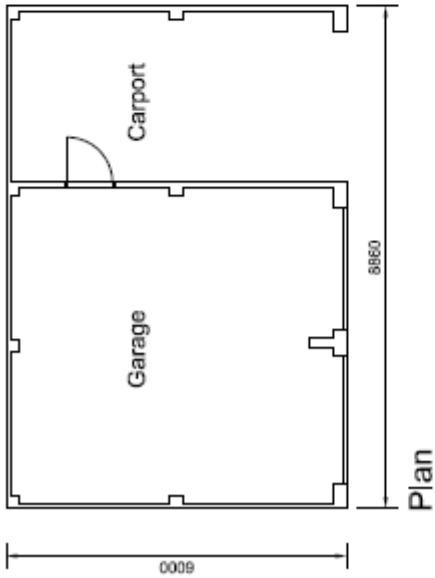
Cream painted timber windows

Black stained timber boarding to walls

Emerson Farm House,
27 Little Stocking,
Shenley Brook End,
Millon Keynes MK5 7BG.
Tel: 01908 749433.

PROJECT	Emerson Farm Shenley Brook End	DATE	1:100	DATE	Sept 12	BY	WT
SCALE		DATE		DATE		DATE	
PROJECT NO	Elevations Plot 7	PROJECT NO	09100(2)-125	PROJECT NO		PROJECT NO	A

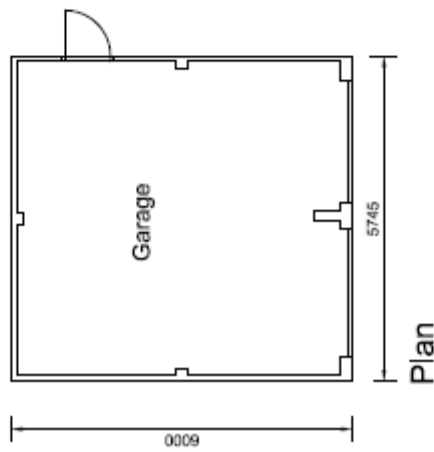
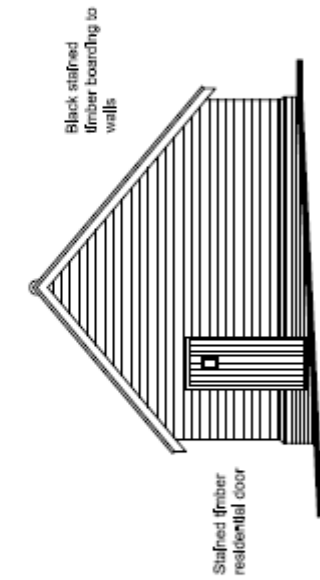
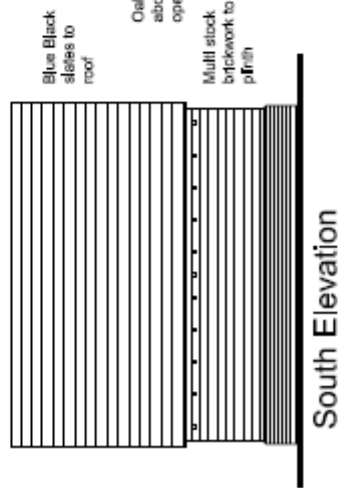
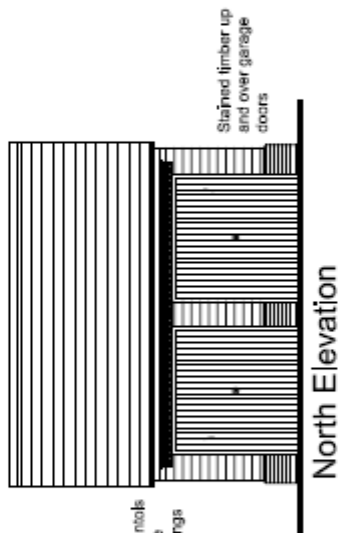
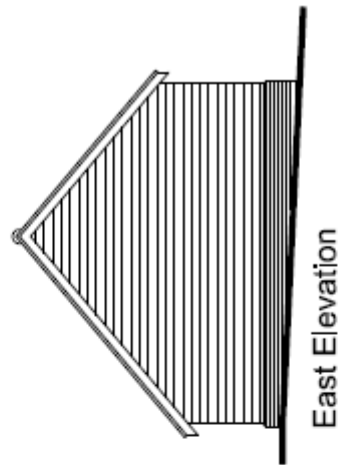
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Emerson Farm House,
27 Little Stocking,
Sherley Brook End,
Milton Keynes MK5 7BG.
Tel: 01908 749433.

EMERSON FARM HOUSE
Emerson Farm
Sherley Brook End
Plot 7 Garaging

SCALE	1:100	DATE	Sept 12	BY	WT
DRAWN BY		CHECKED BY			
DATE		PROJECT NO.	08100(2)-1106		



	Emerson Farm House. 27 Little Stocking, Shenley Brook End, Milton Keynes MK5 7BG. Tel: 01908 749433.		PROJECT: Emerson Farm Shenley Brook End	SCALE: 1:100 DATE: Sept 12 WT
			DRAWING: Plot 6 Garaging	PROJECT: 09100(2)-105

Appendix to 12/02150/MMAM

A1.0 RELEVANT PLANNING HISTORY

(A brief outline of previous planning decisions affecting the site – this may not include every planning application relating to this site, only those that have a bearing on this particular case)

A1.1 07/00187/OUT OUTLINE PLANNING PERMISSION FOR RESIDENTIAL DEVELOPMENT - Withdrawn 13.03.2007

11/01135/FUL - Conversion of existing barn to four bedroom dwelling; erection of 3 x four bedroom dwellings, 2 x three bedroom dwellings and 1 x five bedroom dwelling. - Permission 18.04.2012

11/01136/LBC - Listed Building Consent for the demolition of existing barns and conversion of existing barn to a four bedroom dwelling; erection of 3 x four bedroom dwellings, 2 x three bedroom Dwellings and 1 x five bedroom dwelling - Permission 03.07.2012

11/01137/FUL - Erection of first floor side and rear extensions and single storey rear extension, detached garage/store and refurbishment of building - Permission 05.04.2012

11/01138/LBC - Listed building consent for erection of first floor side and rear extensions and single storey rear extension, detached garage/store and refurbishment of building - Permission 05.04.2012

11/01139/FUL - Erection of two 5 bedroom detached dwellings (Amended Description) - Permission 05.04.2012

12/01209/NMA - Non material amendment to planning permission 11/01135/FUL for the substitution of plot 7 from five bed dwelling to five bed dwelling with increased floor area and double garage - Withdrawn 22.06.2012

12/01333/FUL - Minor material amendment to planning permission 11/01135/FUL (conversion of existing barn to four bedroom dwelling, erection of 3 x four bedroom dwellings, 2 x three bedroom dwelling and 1 x five bedroom dwelling) to change house type on plot 7 and erection of garage - Refused 21.08.2012

A2.0 ADDITIONAL MATTERS

(Matters which were also considered in producing the Recommendation)

A2.1 The applicants have submitted a revised sustainability statement to comply with Policy D4 of the Local Plan and the Sustainable Construction SPD. The planning policy officer originally raised some concerns regarding this. The applicant is now amending their report to address these concerns. The outcome will be reported to the committee.

A2.2 All other issues remain the same as the previously approved application and are still considered to be acceptable subject to conditions.

A3.0 CONSULTATIONS AND REPRESENTATIONS

(Who has been consulted on the application and the responses received. The following are a brief description of the comments made. The full comments can be read via the Council's web site)

Comments

Officer Response

A3.1 Parish - Shenley Brook End & Tattenhoe

Object. Members have concerns that there appears to be a significant change to the footprint of the building and do not believe this to be a minor amendment but a major amendment which would need a full planning application. Members have viewed copy of Cllr Edith Bald's comments and Council are in agreement with the points she has raised.

See para 5.1 -5.4

A3.2 Ward - Emerson Valley - Cllr Bald

Originally raised concerns over the proposed changes and the impact it may have on parking. Following further discussions withdrew these objections.

Noted. See para 5.11.

A3.2 Conservation

The alterations sought cause insufficient interruption to the setting of the listed building to warrant an objection on conservation grounds. This view is based on the building scale (height) and appearance (materials and details) remaining in accordance with the previously approved application.

Noted. See para 5.6-5.7

A3.3 Highways Development Control

Welcomes the changes to the car parking spaces that have been made. The parking adjacent unit 1 is now far better located and provides an increased level of visibility. The parking for plots 4 and 5 is far better placed and relates well to the units they serve. Raises concerns the parking for unit 6 is placed very close to the entrance gates which themselves are very narrow. Request the applicant revises the plans.

Noted. See para 5.11

A3.4 Senior Landscape Architect

Landscape proposals (Pearson Landscape Design. Dwg 586.02 A) are shown at principles/master plan stage and are acceptable, subject to the submission of a detailed planting drawing. Noted.

A3.5 Local Residents

The occupiers of the following properties were notified of the application:

10 Whaddon Road, Shenley Brook End

16 Byron Close, Bletchley

22, 23, 24, 29, 32 Little Stocking, Shenley Brook

13 – 19 (all) Angora Close, Shenley Brook End

10-16 (all) Bushey Bartrams, Shenley Brook End

A site notice was also placed at the site.

A3.6 Letters have been received from 2 properties. These have raised the following issues:

- Plot 7 is significantly increased in footprint and elevations resulting in a two storey house in appearance with an increase in number of 'normal' upstairs windows. Plot 7 has a 2 storey rear extension which significantly increases the south and north elevation with a maximum ridge height of the dwelling. The proposals results in a gable end at full ridge height and in close proximity to 17 Angora Close. Noted. See para 5.6 -5.7
- The permitted scheme had uninterrupted views along the rear of plots 7, 6, 5, and 4 and this will be lost. Noted. See para 5.9 – 5.10
- The proposal will result in plot 7 being much closer to the boundary with 17 Angora Close which would result in loss of privacy and outlook.
- The bulk of the proposed dwelling, especially the south elevation, will dominate views from the south and from 20 Angora Close resulting in a sense of enclosure to this property and garden. See para 5.10
- First floor and ground floor windows on southern elevation will directly face the rear of 20 Angora Close which has numerous habitable windows and See para 5.10

results in significant overlooking and loss of privacy. The consent dwelling has no first floor windows on its southern elevation.

- The position of the two storey rear extension is similar to the now demolished barns. This positive aspect of the development will be lost. Noted.
- Proposal will adversely impact upon the character and appearance of the local area and impact on the adjacent barn and listed house. The proposed dwelling is substantially larger than the consent house in footprint and elevations and would be one of the largest houses in the development despite being surrounded by existing housing. See para 5.6 – 5.7
- Many of the trees and shrubs have been removed. The replanting should be of a high quality to provide appropriate year round screen. This should be enforced by covenants to ensure it is not removed to retain some degree of privacy. Noted. A landscaping condition is proposed. Future management would be the occupiers' responsibility.
- The consented scheme was the correct balance and the modifications do not take account of the constrained nature of the site with neighbouring houses.