

Application Number: 12/02647/MKCOD3

Minor

**Proposed detached teaching facility and associated parking (including new parking layout at Loughton Sports and Social Club)**

**AT Loughton Manor First School, Paynes Drive, Loughton**

**FOR Milton Keynes Council**

**Target:** 8th March 2013

**Ward:** Loughton Park

**Parish:** Loughton Parish Council

**Report Author/Case Officer:** James Kirkham

**Contact Details:** 01908 252039 james.kirkham@milton-keynes.gov.uk

**Head of Team:** Jackie Fox

**Contact Details:** 01908 252283 jackie.fox@milton-keynes.gov.uk

## **1.0 INTRODUCTION**

*(A brief explanation of what the application is about)*

### **1.1 The Site**

The application site is an infant school located on Paynes Drive in Loughton which is predominantly a residential area. Details of the location of the site and its relationship to surrounding properties can be seen in the plans attached to this report.

### **1.2 The Proposal**

The current application seeks consent to erect a new teaching block to the south west of the existing school. This would have a mono-pitched roof. The extension would allow the school to expand from two to three forms of pupils which will result in the school expanding from 180 pupil places plus 26 nursery places to 270 places plus 26 nursery spaces. This is part of the Councils Increased Pupil Places Programme

1.3 The current proposal also seeks consent for new parking provision to serve the school. One parking space would be located to the south east corner of the existing parking area in front of the school accessed from Linceslade Grove. 21 further spaces are to be provided in the grounds of the Pavilion building located to the east of the site, the opposite side of Linceslade Grove. Details of the proposal as described above can be seen in the plans appended to this report.

## **2.0 RELEVANT POLICIES**

*(The most important policy considerations relating to this application)*

### **2.1 National Policy**

National Planning Policy Framework paragraphs:

14: Presumption in Favour of Sustainable Development  
17: Core Planning Principles  
56: Good Design  
72: Schools  
109: Natural Environment  
123: Noise

### **2.2 Local Policy**

Adopted Milton Keynes Local Plan 2001-2011

D1: Impact of development proposals on locality  
D2A: Urban design aspects of new development  
D2: Design of buildings  
T10: Traffic  
T15: Parking Provision  
Supplementary Planning Guidance  
Adopted Parking Standards for Milton Keynes

## **3.0 MAIN ISSUES**

*(The issues which have the greatest bearing on the decision)*

- 3.1 1. Parking provision. The development will improve and make use of the existing parking provision serving the Pavilion building. Whilst this is slightly detached from the school, with appropriate management, it is considered that it can serve a useful purpose at peak times. Therefore on balance it is considered to be acceptable.

## **4.0 RECOMMENDATION**

*(The decision that officers recommend to the Committee)*

- 4.1 It is recommended that planning permission be granted subject to the conditions set out at the end of this report.

## **5.0 CONSIDERATIONS**

*(An explanation of the main issues that have lead to the officer Recommendation)*

- 5.1 Paragraph 72 of the NPPF is supportive of development of schools and states:

*'The Government attaches great importance to ensuring that a sufficient choice of school places is available to meet the needs of existing and new communities. Local planning authorities should take a proactive, positive and collaborative approach to meeting this requirement, and to development that will widen choice in education. They should:*

*- give great weight to the need to create, expand or alter schools.....'*

- 5.2 The current application would expand the school to allow the intake of three forms of pupil entry rather than existing two. This would ultimately grow the school by 90 pupil places and 3 more staff would be required. The applicant has stated that the increase is in response to a natural population increase with 55% of the projected intake rate being children from Loughton and Great Holm (south) and the majority of the remaining projected intake living within two miles of the school. They state the expansion of the school is part of the Councils Increase Pupil Places (IPP) programme and is essential to meeting the demographic growth locally.
- 5.3 The school currently has a staff parking area to the front of the school building and then a further drop off and parking area immediately to the south of the site adjacent to Paynes Drive. One additional parking space is proposed to the south east of this area which is considered to be acceptable. The current application also seeks to utilise, alter and extend the existing parking area serving Loughton Sports and Social Club Pavilion to the south east of the site. This is located on the opposite side of Linceslade Grove. This would be extended, resurfaced and marked out to make most efficient use of the space and would accommodate 21 parking spaces. It would be available at school times for parents to use to drop off and pick up children. Therefore the current application proposes a total of 22 additional spaces for the schools use.
- 5.4 Parking requirement for Milton Keynes is assessed in accordance with the adopted parking standards. This states that for a school in this location there should be a set down and pick up requirement of 1 parking space per 6 pupils and 1 parking space per member of staff. Based on the figures provided by the applicant, the proposed extension to the school would result in 90 additional pupils and 3 members of staff giving an additional parking requirement of 18 parking spaces. In total the current application will secure the provision of 22 additional spaces for pick up and set down for parents which would be in excess of the requirement relating to the increase in school numbers associated with the proposed development. Whilst the 21 parking spaces within the Pavilion grounds will shared with the users of the Pavilion, at peak school times the pavilion is unlikely to be in use. There would be an agreement in place between the relevant parties that the parking at the Pavilion was available for parents and this could also be controlled through a planning condition.
- 5.5 Some concerns have been raised over the fact that the area of parking is remote from the entrance to the school. This parking area is approximately 100 metres from the entrance to the school. A pedestrian crossing point exists near this car park and the supporting information notes there is a patrolled crossing on Linceslade Grove at school times. It is considered the dual use of this parking area is a sensible idea as peak times are unlikely to coincide with each other and it is considered that this parking area could be efficiently used by parents if managed appropriately by the school. It is recommended that a Parking and Traffic Management Plan be conditioned to any grant of planning permission. This would need to be submitted prior to the occupation of the new building and would need to detail the steps the School has taken to raise awareness and use of this parking area. This may include

details such as the incorporation of signage, retention of patrolled crossing point, and letters to parents.

- 5.6 It is also worthy of note that the school has submitted a travel plan with the current application which seeks to encourage parents to go to school by means other than the car. Other changes in the travel plan include from September 2013 the start of the school day being altered to allow foundation stage children to arrive between 08:30 to 09:00 and key stage 1 children to arrive between 08:30 to 08:45. In 2014 there are also plans to enable a collection time of 15:30 rather than the school finish time of 15:00. These changes would help to stagger the drop off and pick up times to reduce pressure on parking at peak times.
- 5.7 On balance the proposed development is considered to be acceptable in regard to parking and traffic. The current application would secure additional parking for set down and drop off and the proposals are not considered to exacerbate parking and congestion issues associated with the school.

## **6.0 CONDITIONS**

*(The conditions that need to be imposed on any planning permission for this development to ensure that the development is satisfactory. To meet legal requirements all conditions must be Necessary, Relevant, Enforceable, Precise and Reasonable )*

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To prevent the accumulation of planning permissions; to enable the Local Planning Authority to review the suitability of the development in the light of altered circumstances; and to comply with section 51 of the Planning and Compulsory Purchase Act 2004. (D11)

2. The proposed teaching block shall be constructed of the following materials unless otherwise agreed in writing by the local planning authority.

Brickwork - Ibstock Dulwich Weathered Yellow in natural coloured mortar.

Windows and doors - Slim face profile aluminium section finished in PPC 'Light Grey' RAL 7035

Render Finish - Through coloured render finished in white with pale light grey tint to match existing school building.

Main roof - Single ply PVC membrane roof by Sarnafil coloured light grey 9525.

Eaves trim - Aluminium profiled items PPC finish 'light grey' RAL 7035.

Canopy over outside play area - Canopy roof sheet material to be twin skin polycarbonate in 'Opaque' finish. Canopy framework to be 'light grey' RAL 7035 with gloss white roller shutters.

Canopy over nursery entrance - Curved canopy profile formed of twin skin polycarbonate sheet in 'Opaque' finish. Canopy posts and framework to be 'light grey' RAL 7035.

High Level Louvre - Aluminium frame and louvre blade system. Polyester powder coat finish in 'Slate Grey' RAL 7015.

Gutters and down pipes - Black self-finished UPVC Section.

Reason: To protect the character and appearance of the area.

3. Prior to the first occupation of the development hereby permitted a Parking and Traffic Management Plan shall be submitted and approved in writing by the local planning authority. This shall outline the methods the school plans to undertake to encourage effective use of the car parking facilities from parents, teachers and other visitors. The Parking and Traffic Management Plan shall thereafter be carried out in accordance with the approved particulars.

Reason: To ensure that the car parking facilities are effectively and efficiently used.

4. The development shall not be occupied until the car parking areas (and turning areas) shown on the approved plan have been constructed, surfaced and permanently marked out. The car parking area so provided shall be maintained as a permanent ancillary to the development.

Reason: To ensure adequate parking provision at all times so that the development does not prejudice the free flow of traffic or the conditions of general safety along the neighbouring highway.

5. A landscaping scheme, which shall include provision for the planting of trees and shrubs, shall be submitted to and approved by the Local Planning Authority before any part of the development is occupied. The scheme shall show the numbers, types and sizes of trees and shrubs to be planted and their location in relation to proposed buildings, roads, footpaths and drains. All planting in accordance with the scheme shall be carried out within the first planting season following the occupation of the building. Any trees or shrubs removed, dying, severely damaged or diseased within two years of planting shall be replaced in the next planting season with trees or shrubs of such size and species as may be agreed by the Local Planning Authority.

Reason: To protect the appearance and character of the area and to minimise the effect of development on the area.



**GENERAL NOTES:**

01/14/2018

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2. THIS PLAN IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR ANY OTHER DESIGN OR CONTRACT.

3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE PROFESSIONAL ENGINEERS AND ARCHITECTS.

5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE LANDSCAPE ARCHITECTS AND PLANNERS.

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14. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE INSTALLERS.

15. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE MAINTENANCE PERSONNEL.

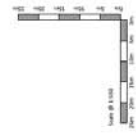
16. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE OPERATORS.

17. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE USERS.

18. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE MAINTENANCE PERSONNEL.

19. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE OPERATORS.

20. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES FROM THE APPROPRIATE USERS.



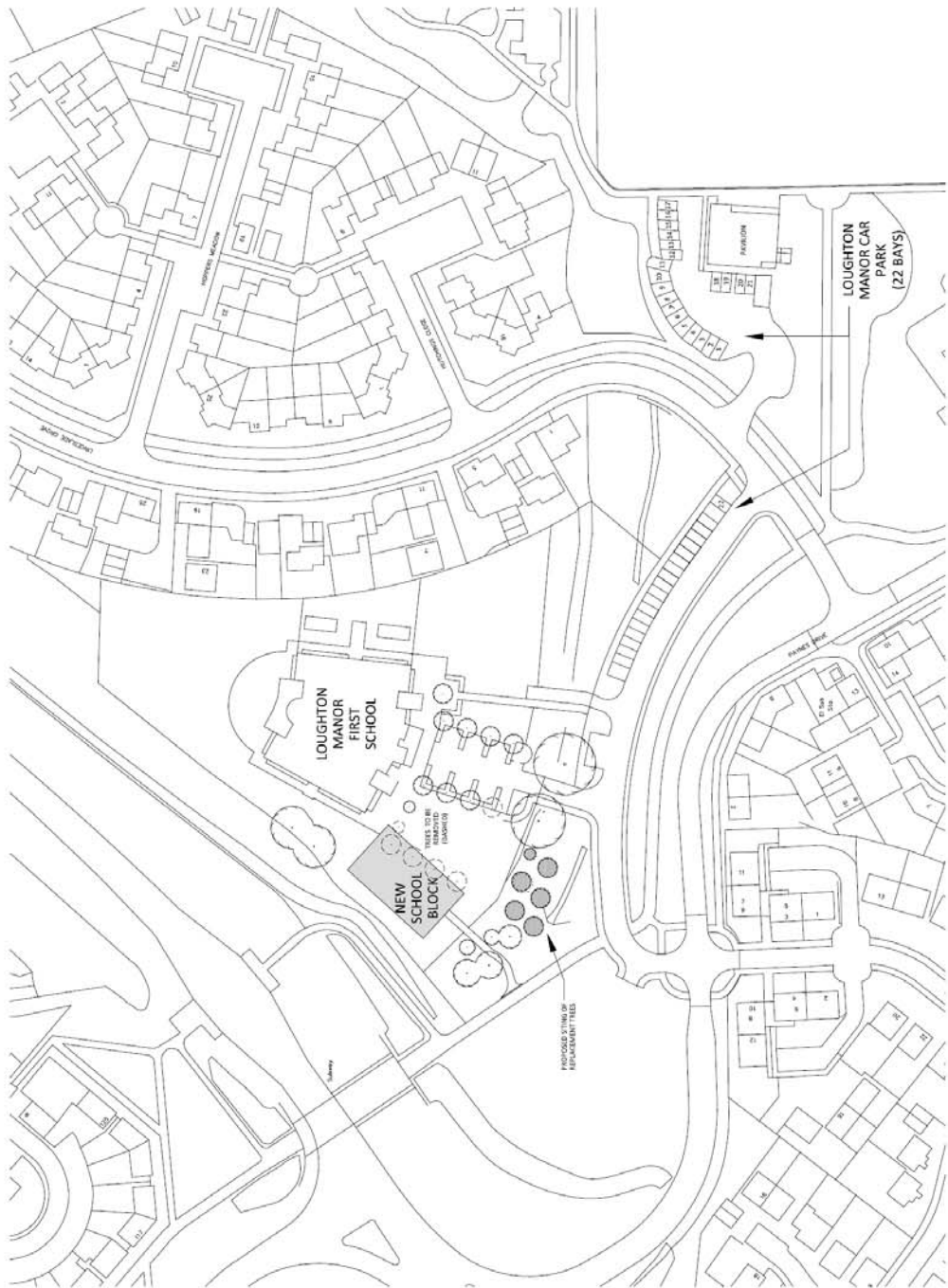
**ehw**  
 ENGINEERING & ARCHITECTURE  
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**PLANNING**  
 Borras  
 construction limited

Project:  
 NEW TEACHING BLOCK  
 LOUGHTON MANOR SCHOOL  
 NELSON KEYNES

Drawing title:  
 PROPOSED BLOCK PLAN

Drawn	Date	Checked	Scale
MR	04/12/2018		1:1000
MR	04/12/2018		1:1000
2013.87	14/11/18	Revisions	1:1000



PROPOSED BLOCK PLAN



NOTES:  
 Drainage clearance followed by raising of drain covers accordingly to tie in with current / revised ground levels, as per drainage survey recommendations.  
 New concrete paving to replace landscape island.

CLIENT	CHILDREN AND FAMILIES SERVICE GROUP	LOUGHTON MANOR FIRST SCHOOL	URBAN DESIGN AND LANDSCAPE ARCHITECTURE	
	MILTON KEYNES COUNCIL	MILTON KEYNES	PO Box 113, Civic Centre, 15 Horn Gate Road Milton Keynes MK9 3JH Tel: 01908 670000 email: urban.design@mkc.gov.uk	
DRAWING	PROPOSED LANDSCAPE ENHANCEMENT & NEW CAR PARKING LAYOUT	RF	CHECKED	DATE
		1:250@A3	JS	DEC '12
PROJECT				
			LMFS/01/109	





**GENERAL NOTES**

The Client is subject to Town Planning and all other necessary consents. Drawings, areas and levels shown are the only requirements and subject to change. The Client shall be responsible for obtaining all necessary planning and building regulations consents and any discrepancies or variations are to be at the Client's risk. The Client shall be responsible for obtaining all necessary planning and building regulations consents and any discrepancies or variations are to be at the Client's risk. The Client shall be responsible for obtaining all necessary planning and building regulations consents and any discrepancies or variations are to be at the Client's risk.

Rev	Date	Description
A	19/09/12	Revised to include tender amendments
B	05/12/12	For approval
C	11/12/12	Client requirements incorporated

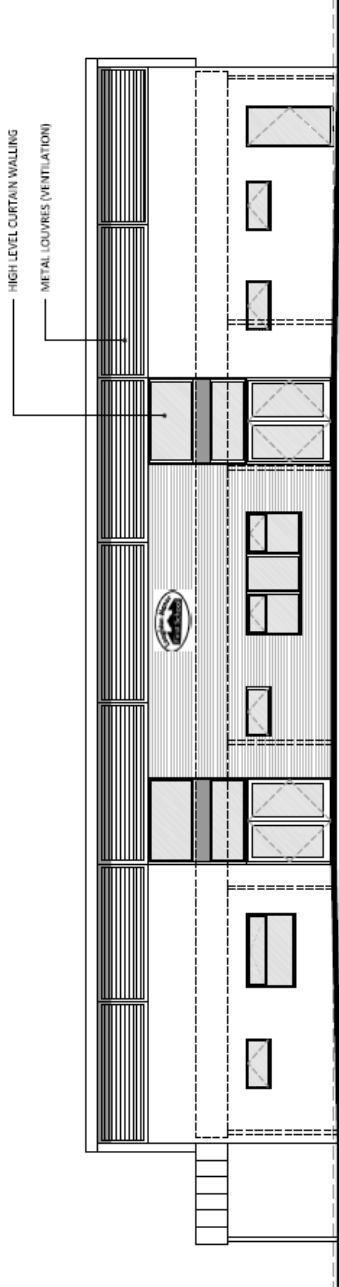
**SCHEDULE OF MATERIALS**

- BRICKWORK: 750MM RED BRICK 'YELLOW' IN NATURAL COLOURED MORTAR WITH DOWN BRICKS NOT PORTLAND FINISH.
- WINDOWS & DOORS: 2.0M FACE POWDER ALUMINIUM SYSTEM FINISHED IN 'LIGHT GREY' PAINT. 7005. CLEAN LOW 'V' DOUBLE GLAZED UNIT.
- RENDER FINISH: 15MM POLYMER MODIFIED FINISH WITH FINE AGGREGATE GREY TINT TO MATCH EXISTING SCHOOL BUILDING.
- MAIN ROOF: SINGLE PLY PVC MEMBRANE ROOF BY SARNATEL OR EQUAL, OTHER APPROVED. COLLECT LIGHT GREY TINT.
- RAVES TRIM: ETC.
- CAMPUS OVER OUTSIDE PLAY AREA: CANOPY AND SHED MATERIAL TO BE 18MM BIRCH/PINE/ALUMINIUM IN 'COMB' FINISH. FINISH GRAPPY POSTS AND HORIZONTALS TO BE 'LIGHT GREY' PAINT. 7005. 18MM BIRCH/PINE/ALUMINIUM IN 'COMB' FINISH. FINISH GRAPPY POSTS AND HORIZONTALS TO BE 'LIGHT GREY' PAINT. 7005.
- CAMPUS OVER NURSERY ENTRANCE: CANOPY AND SHED MATERIAL TO BE 18MM BIRCH/PINE/ALUMINIUM IN 'COMB' FINISH. FINISH GRAPPY POSTS AND HORIZONTALS TO BE 'LIGHT GREY' PAINT. 7005. 18MM BIRCH/PINE/ALUMINIUM IN 'COMB' FINISH. FINISH GRAPPY POSTS AND HORIZONTALS TO BE 'LIGHT GREY' PAINT. 7005.
- ROOF LEVEL LOUVER: POWDER COATED ALUMINIUM DOUBLE GLAZED WINDOWS & DOORS.
- GUTTERS & DOWN PIPES: BLACK GUTTER FINISHED PVC SECTION.

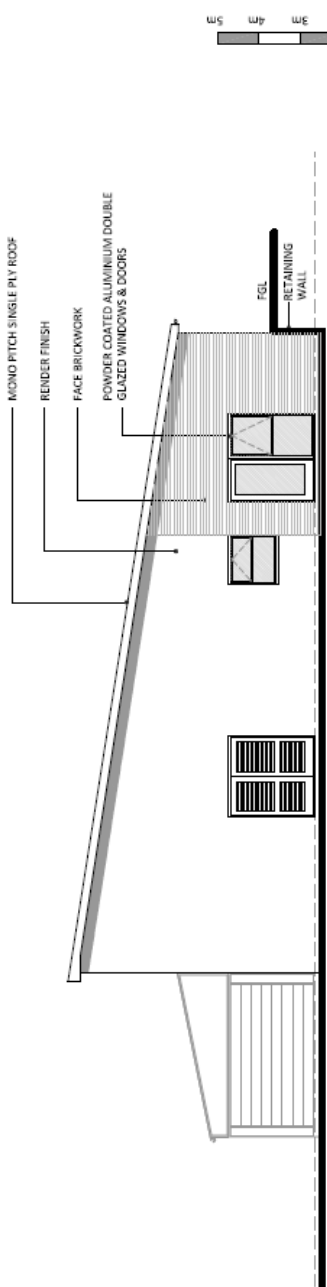
**ehw**  
 ehw architects  
 10 Margaret Street, Leeds LS2 3JH  
 t: 0113 232 7288  
 f: 0113 232 7289  
 www.ehwarchitects.com

**PLANNING**  
**Borras**  
 construction limited

Client	ehw architects		
Project	NEW TEACHING BLOCK LOUGHTON MANOR FIRST SCHOOL MILTON KEYNES		
Project Title	FRONT & RH FLANK ELEVATIONS AS PROPOSED		
Drawn	Date	Checked	Scale @ A3
AF	DEC 2012	Revision	1:100
Job No	Drawing No	Revision	None
2012-07	PL 006	C	



**FRONT ELEVATION**



**RH FLANK ELEVATION**

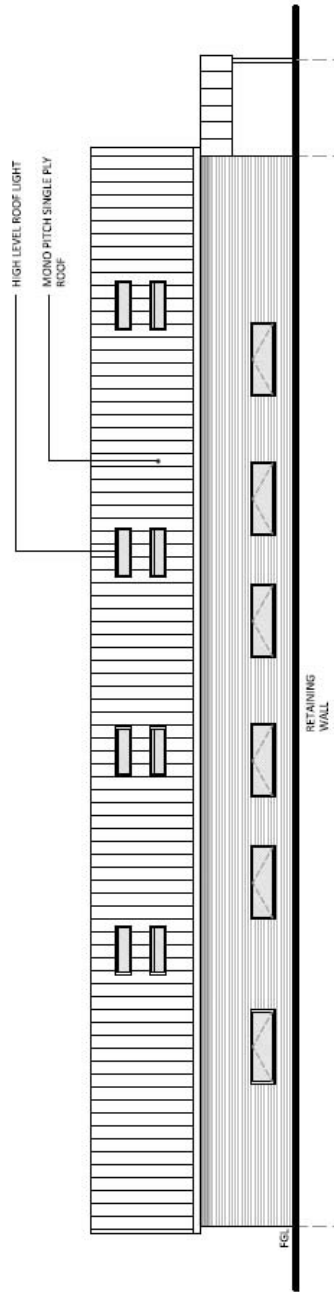
**GENERAL NOTES** © EHW Ltd

The Client is subject to these Plans and all other necessary consents, documents, rules and laws, where they are not specified and subject to the provisions of the Building Regulations 2010, Part A, Schedule 1, Part 1 and the Building Regulations 2010, Part A, Schedule 1, Part 2. All buildings shall be constructed in accordance with the Building Regulations 2010, Part A, Schedule 1, Part 1 and the Building Regulations 2010, Part A, Schedule 1, Part 2. All buildings shall be constructed in accordance with the Building Regulations 2010, Part A, Schedule 1, Part 1 and the Building Regulations 2010, Part A, Schedule 1, Part 2. All buildings shall be constructed in accordance with the Building Regulations 2010, Part A, Schedule 1, Part 1 and the Building Regulations 2010, Part A, Schedule 1, Part 2.

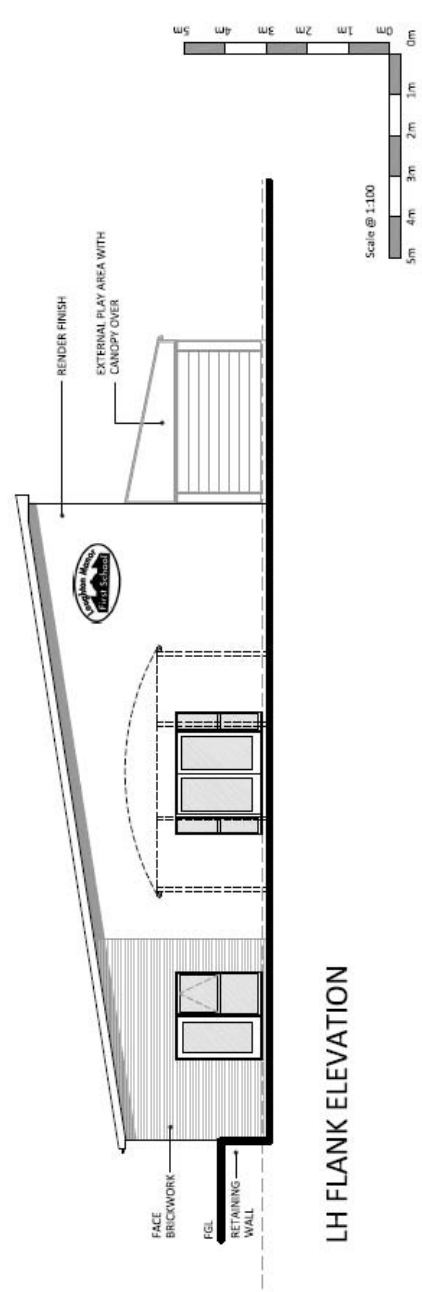
Rev	Date	Description
A	19/09/12	Revised to include tender amendments
B	05/12/12	For approval
C	11/12/12	Client requirements incorporated

**SCHEDULE OF MATERIALS**

- BRICKWORK: FACE BRICKWORK TO BE USED TO MATCH EXISTING WORKING WITH 25mm REAR FACE POINTED FINISH
- WINDOWS & DOORS: 1200mm x 1500mm UPVC DOUBLE GLAZED UNITS
- 50mm FAZ ROOF/SLAB ALUMINIUM SECTION FINISHED IN PVC 'GLORY' PA 3205.
- CLIM LOW 'O' DOUBLE GLAZED UNITS.
- RENDER FINISH: EXTERIOR: SAND AND SILICA FINE WHITE WITH PALL LIGHT GREY TINT TO MATCH EXISTING EXTERIOR FINISH. INTERIOR: SAND AND SILICA FINE WHITE WITH PALL LIGHT GREY TINT TO MATCH EXISTING EXTERIOR FINISH.
- MAIN ROOF: SINGLE LAY PVC MEMBRANE ROOF BY SARKISOL OR EQUAL OTHER APPROVED. COMPLETE WITH GUTTERS.
- EAVES TRIM ETC: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.
- CANOPY OVER OUTSIDE PLAY AREA: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.
- CANOPY OVER KIDS ENTRY ENTRANCE: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.
- CANOPY OVER PLAY AREA WITH CANOPY OVER: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.
- HIGH LEVEL LIGHT: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.
- GLUTTERS & DOWN PIPES: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.
- BACKSBIT / TRIMMED PVC SECTION: ALUMINIUM FINISH TO MATCH EXISTING WITH 25mm PA 1004 TO MATCH EXISTING FINISH.



**REAR ELEVATION**



**LH FLANK ELEVATION**

**ehw**

EHW LIMITED  
 110 York Street, Bristol  
 Bristol, BS2 2DQ | 01252 455257  
 EHW LIMITED  
 10 Margrave Street, Ipswich  
 Ipswich, Suffolk, IP1 2JH | 01473 72748  
 EHW LIMITED  
 110 York Street, Bristol  
 Bristol, BS2 2DQ | 01252 455257

**PLANNING**

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Client: **ehw**

Project: **NEW TEACHING BLOCK  
LOUGHTON MANOR FIRST SCHOOL  
MILTON KEYNES**

Drawing Title: **REAR & LH FLANK ELEVATIONS  
AS PROPOSED**

Drawn	Date	Checked	Scale @ A3
JF	DEC 2012	SL	1:100
Approved	Authoring / U	Revision	Notes
2012/287	PL 001	C	

## Appendix to 12/02647/MKCOD3

### A1.0 RELEVANT PLANNING HISTORY

*(A brief outline of previous planning decisions affecting the site – this may not include every planning application relating to this site, only those that have a bearing on this particular case)*

A1.1 03/01172/Mkcod3 - Erection Of A Store Shed – Permission

05/00679/Mkcod3 - Erection Of Canopy To Front Entrance And Rear Play Area, Provision Of Soft Play Area And Equipment With Access Path And Steps, With Associated Landscape Works And New Fence - Permission

07/01275/Mkcod3 - Erection Of Boot Storage Shelter – Permission

11/01834/Mkcod3 - Erection Of A Single Storey Front Extension - Permission

### A2.0 ADDITIONAL MATTERS

*(Matters which were also considered in producing the Recommendation)*

#### A2.1 Impact on character and appearance of area

The existing school buildings are set back some distance from the front of the site and have a modern design with a mix of mono-pitched and curved roofs. The proposed building will be located forward of the existing school building but given its set back from the road is not considered to appear unduly prominent in its surrounding. Furthermore the boundaries of the site have vegetation on them which filter views in and out of the site. The mono-pitched roof of the proposed building will have a different pitch to the existing mono-pitched roofs onsite however it will be seen as a separate building to the main school building and this is not considered to be harmful to the character and appearance of the area. The building will be lower than the existing school buildings and are considered to be appropriate in terms of scale and mass. The materials proposed to be used on the site will be in keeping with the existing building materials of the main school buildings. Overall the design of the proposed building is considered to be acceptable.

#### A2.2 Impact on neighbouring properties amenity

The proposed development will be located away from residential properties and is therefore not considered to detrimentally impact on their amenity. The increase in school numbers may lead to some increase in noise and disturbance to neighbouring properties but this is not considered to be significant. Issues relating to parking and traffic are discussed above.

#### A2.3 Other Matters

The proposals will result in the loss of some trees on the site however these would be replaced with new planting to the boundaries of the site. Given that these trees are not widely visible outside of the site this is considered to be acceptable. The proposal will also create a new pedestrian access to the south west of the site. This is not considered to significantly impact on the character and appearance of the area or amenity of neighbouring properties.

A2.3 The proposed development will lead to the loss of a small area of external play space to the school however this area is not used for formal sports pitches and other play space will remain around the site.

### **A3.0 CONSULTATIONS AND REPRESENTATIONS**

*(Who has been consulted on the application and the responses received. The following are a brief description of the comments made. The full comments can be read via the Council's web site)*

#### **Comments**

#### **Officer Response**

#### **A3.1 Highways**

No objection to the application. The applicant has submitted a revised travel plan and a parking survey to assess the increase in pupil numbers. There have been discussions with various interested local groups before this application submission to deal with both the current situation that occurs at peak times of the day during the school year. There are problems with parents dropping off and picking up their children from the school. Also to consider solutions after the proposed greater pupil numbers in 2013.

Noted. See 5.2 to 5.6. Policy T10, T15 and Parking Standards

#### **A3.2 Parking:**

Loughton Manor School was built in 1997 to accommodate 240 pupils and in 2004 this number was reduced to 206 pupils including a nursery class of 26. The current application is for 296 including the 26 nursery pupils. The submission is from the current base of 206 pupils to reflect the present situation since there have been issues of traffic congestion at peak times of the school day. The parking arrangements can be considered in two categories. Long term parking for staff and visitors and short term "drop off and collection" parking that happens at most schools and colleges.

A3.3 The school is in Zone 3 for the application of the Milton Keynes Parking Standards 2005 which requires 1 space per staff plus pick up and set down provision at First Schools of 1space per 6 pupils. Based on this guidance the addition parking requirement is 18 spaces.

A3.4 The applicant is proposing 22 spaces and this exceeds the maximum standards required; however bearing in mind the current problems with traffic congestion in the roads around the school at peak times and until the implementation of a revised travel

plan influences future travel behaviour it is considered that the applicant is correct to introduce this level of parking.

A3.5 Access:

Some measures have already been carried out such as establishing a pedestrian crossing point on Lincslade Grove and school crossing patrol for pupils to walk to the school that seek to address the current problems.

A3.6 Travel Plan:

The school has an existing travel plan that was reviewed in December 2012. The main changes are to introduce:

- staggered start times for some classes to avoid the peak times for drop offs in 2013
- introduce a late pick up club up to 15 :30 in the afternoon in 2014
- a walking bus scheme from spring 2015
- borrow a friend's drive for parking in 2014
- road safety education training for First school with a marked out playground "roadway"

A3.7 Conclusion:

The proposal for the improvements to the Pavilion car parking for parents and visitors seems to be a good arrangement to share resources between the school and the local community and will reduce the possible on- street parking within the local residential areas. Based on the information provided the parking levels are more than adequate for the schools requirements. The school needs to work closely with the Milton Keynes travel planning team to keep this a "live" document for the future.

A3.8 **Travel Plan Officer**

The travel plan has been agreed with the school and there is no further comment to make. Noted

A3.9 **Landscape Officer**

No objection subject to condition. Noted. See conditions.

**A3.10 Local Residents**

The occupiers of the following properties were notified of the application:

13 Glebe Close Loughton Milton Keynes

1, 2 -10 (even) Paynes Drive

7- 11 (all) Specklands

1 - 17 (odd),2, 4 and 23 – 29 (odd) Linceslade Grove

1-5 (all) Sumner Court

12, 13 and16 Hutchings Close

**A3.11 3 letters have been received.** These have raised the following issues:

- A3.12
- Concerns over traffic congestion and parking from increase in pupil numbers. See paragraph 5.2 -5.6.  
Car parking is already heavy on the road at school times which is dangerous to road users and pedestrian.
  - The proposal will increase the 'out of area' radio even further for pupils leading to more arriving by car.
  - Residents only parking in the area are not enforced and are ineffective.
  - The drop-off and pick up area should be placed closer to the new building. The proposed area is too far from the development and will remain underused.
  - No objection to building itself.
  - Require assurance that not trees in copse next to 1 Linceslade Grove will be felled. None of these trees are impacted by the proposed development.