

## ITEM 5(c)

**Application Number:** 20/00653/FUL

**Description** Construction of new community hall and sports changing rooms using modular construction adjacent to existing pavilion.

**At** Great Linford Sports Pavilion, Marsh Drive, Great Linford, MK14 5HH

**For** Mr Andrew Morphet, Great Linford Parish Council

**Statutory Target:** 29<sup>th</sup> May 2020

**Extension of Time:** Yes - 23<sup>rd</sup> June 2020

**Ward:** Stantonbury

**Parish:** Great Linford Parish  
Council

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### 1.0 RECOMMENDATION

1.1 It is recommended that permission is granted subject to conditions set out in this report.

### 2.0 INTRODUCTION

#### The Site

2.1 The application site is located on the eastern side of Marsh Drive in Great Linford and benefits from on-site parking. Access to the site is via an access road off Marsh Drive. Towards the north and east of the application site are the existing sport pavilion, tennis courts and sports pitches, beyond that is a popular redway. Towards the south, there is a small parcel of land and a row of mature trees. Beyond the trees are residential dwellings of Andrewes Croft.

2.2 The site is located within flood zone 1 and falls within an area designated as Linear Park and the red zone for Great Crested Newt (GCN). In addition, there is a blanket TPO covering the entire site.

## The Proposal

- 2.3 This application seeks planning permission for the erection of a new community hall and sports changing rooms adjacent to the existing pavilion.
- 2.4 The proposed building would be single storey, located south of the existing pavilion on site and would measure 14m by 20.5m and would incorporate a flat roof measuring a maximum of 3.7m in height. It would be located between the existing pavilion and the southern boundary of the sports ground. There would be a minimum of 24m between the proposed southern elevation and the existing sports ground boundary.
- 2.5 In terms of window and door openings, the southern elevation would be doors only, the northern elevation would be windows only with the eastern and western elevations both having windows and doors.
- 2.6 Planting and a new tarmac path are proposed around the building with additional parking spaces in the existing carpark.
- 2.7 Materials will be a mixture of anthracite grey insulated wall panels and thermawood cladding. All rainwater goods will be black.

## Reason for referral to committee

- 2.8 This application has been referred to committee as 9 requests from different household have written to object to the proposal and explicitly requested the application to be determined by the Development Control Committee/Panel.

## Scope of debate/decision

- 2.9 This application proposal is a full planning application and so all material planning matters are to be considered.

## **3.0 RELEVANT POLICIES**

### **National Policy**

- 3.1 National Planning Policy Framework (NPPF) February 2019

Section 2 - Achieving sustainable development  
Section 4 - Decision making  
Section 12 - Achieving well-designed places

In addition, the Planning Practice Guidance (PPG) is also a material consideration.

### **The Development Plan**

- 3.2 Neighbourhood Plan

Great Linford Neighbourhood Plan (North)

Policy GLPC N5 - New developments for sport, leisure and community facilities  
Policy GLPC N8 - Development that results in the loss of large areas of green spaces or that results in any harm to their character, setting, accessibility, appearance, general quality or amenity value.  
Policy GLPC N9 – Trees, hedgerows and planting

### 3.3 Plan:MK (March 2019)

Plan:MK was adopted at Council on 20 March 2019 and now forms part of the statutory development plan for Milton Keynes and includes the Policies Map that indicates land use in the Borough.

Policy DS6 – Linear Park  
Policy CC4 – New community facilities  
Policy CT2 – Movement and access  
Policy CT6 – Low emission vehicles  
Policy CT10 - Parking Provision  
Policy D1 - Designing a High Quality Place  
Policy D2 - Creating a Positive Character  
Policy D3 - Design of Buildings  
Policy D5 - Amenity and Street Scene  
Policy FR1 – Managing flood risk  
Policy FR2 – Sustainable drainage systems and integrated flood risk management  
Policy L1 – Facilities acceptable in the parks  
Policy L2 – Protection of open space and existing facilities  
Policy NE2 – Protected species and priority species and habitats  
Policy SC1 - Sustainable Construction

### 3.4 Supplementary Planning Documents/Guidance

Parking Standards SPD (January 2016)  
New Residential Development Design Guide 2012 SPD

### 3.5 Human Rights Act 1998

There may be implications under Article 8 and Article 1 of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions. However, these potential issues are in this case amply covered by consideration of the environmental impact of the application under the policies of the development plan and other relevant policy guidance.

### 3.6 Equality Act (2010)

Due regard, where relevant, has been had to the Milton Keynes Council's equality duty as contained within the Equalities Act (2010).

## 4.0 **RELEVANT PLANNING HISTORY**

None relevant.

## **5.0 CONSULTATIONS AND REPRESENTATIONS**

### **5.1 Great Linford Parish Council**

No objection.

### **5.2 Cllr Hannah Minns - Stantonbury**

No comment received.

### **5.3 Cllr Martin Petchey - Stantonbury**

No comment received.

### **5.4 Cllr Alex Walker - Stantonbury**

No comment received

### **5.5 MKC Highways**

No objection to the proposed, subject to conditions on parking spaces being clearly marked and submission of bicycle parking prior to occupation.

### **5.6 MKC Ecology and Countryside Officer**

Comments only - Development may affect protected species. There is a potential of Great Crested Newts being present and therefore affected by the proposed development.

Informative is requested should permission be granted to cover GCN.

### **5.7 MKC Lead Local Flood Authority**

Initial objection has been removed following the submission of additional drainage information which demonstrate how surface water from the proposed development can be managed through the use of crated attenuation storing surface water runoff from the additional impermeable area on site produced from the new community hall and sports changing rooms. Surface water will connect into the existing private surface water sewer system on site.

Condition requested: Surface water drainage scheme.

No further comments following re-consultation.

### **5.8 MKC Landscape Architect**

No objection, subject to conditions on lighting, opening hours, levels and landscaping.

The principle of development is acceptable, subject to conditions. The additional details provided provide some clarity and supporting evidence of the need for the proposal.

New lighting is proposed but no details are included.

The submitted landscaping plan including proposed earthworks and regrading of levels are acceptable, subject to conditions. The proposed levels and shrub planting will help to limit the visual impact of the building from the open space and adjacent properties. However, the loss of amenity open space for the building and loss of planting around the car park including trees which were felled prior to the submission of the application should be offset by the addition of 10 trees which should be chosen for their value to wildlife, biodiversity and amenity.

#### 5.9 MKC Landscape Services (Trees)

No comments received.

#### 5.10 MKC Urban Design Team

The proposed development is located in a fairly isolated location next to an existing building of limited architectural merit. The landscape plan is broadly consistent with the landscaping surrounding the neighbouring building. Along with reduced levels, it will help integrate the visual appearance of the two buildings.

No objection to the application in terms of design and layout.

#### 5.11 MKC Leisure, Community and Sport Development

Support the development proposal in principle and would greatly enhance the local sporting offer. Ideally, the changing rooms should be slightly bigger as it falls short of the Sport England design guidance. The changing rooms should also be designed to allow use by disabled or injured athletes. The plant room should also be made accessible from the outside.

#### 5.12 Sport England

Sport England is satisfied that the proposed development does not affect the quantity or quality of playing pitches at the site. Comments relating to the design aspect are intended to be helpful. Sport England is therefore satisfied that the proposed development meets exception 2 of our playing fields policy.

Sport England does not wish to raise an objection

#### 5.13 Neighbour/Third Party Representations

26 objection letters have been received from 11 different households as well as a petition with 20 signatories

Summary of comments:

Material considerations:

- The building is unsuitable for the site.
- Building is not in keeping.
- Loss of privacy.
- Late openings will create un-necessary noise.
- Marsh Drive Sport Ground has an adequate pavilion.
- The proposal will lead to anti-social behaviour.
- No clear justification on why the proposal is required.
- Large proportion of the open space will be lost.
- The proposal will not benefit those living nearby.
- Existing carpark is largely empty for most of the year. The proposed change of use from changing facilities to community hall will increase the number of cars coming and going.)
- Traffic on Marsh Drive (MKC Highways Officer make no reference to traffic impact
- Quality of building is not acceptable.
- Maintenance issue with existing space.
- Security.
- Impacts on the natural environment and the wildlife.
- Current facilities are old and outdated.
- Red zone for GCN.

Non planning material considerations:

- The Council should delay determination to allow further discussions during Covid-19.
- Residents not given a chance to discuss.
- Lack of engagement between the local parish council and residents.
- Mental health and wellbeing of local residents
- Why not improve existing facilities.
- Parish has no regard to local residents.
- The use of and selling of alcohol.
- Parish council consulted with Oakridge Park and Redhouse Park.
- Financial and sourcing of funding.
- The use of the funding.

It is noted that some comments above are not related to planning and therefore not material considerations when assessing this planning application.

## **6.0 MAIN ISSUES**

Principle of Development  
Parking & Highways  
Design, Character, Appearance  
Residential Amenity  
Ecology  
Landscape  
Public open space  
Flood Risk and Drainage

Other matters

## 7.0 **CONSIDERATIONS**

### Principle of development

- 7.1 The site is located within an area designated as Linear Parks (Policy DS6) and in accordance with Policy L1, planning permission will only be granted for leisure and recreation uses, or those that are ancillary to and directly support such uses within the parks unless the proposal would:
- a. Lead to an unacceptable visual impact;
  - b. Detract from the primary use of the open space;
  - c. Have an adverse impact upon the highway network;
  - d. Have an adverse impact on wildlife and its habitat;
  - e. Result in excessive noise.
  - f. Undermine opportunities to link wildlife areas and provide for biodiversity corridors;
  - g. Have an adverse impact on any historic significance of the park;
  - h. Prevent public from using the open space by implementing unreasonable entrance fees or charges.
- 7.2 The requirements listed in Policy L1 is also echoed in Policy N5 of the Great Linford Parish Council Neighbourhood Plan where both policies outline the requirements for all new developments for sport, leisure and community facilities.
- 7.3 Policy CC4 stated proposals will be support if existing facilities which are valued by the community are retained; the quality and capacity of facilities will be improved and where the site has adequate parking and access arrangements. The policy also indicates that proposed development should contribute to the provision of new or improved community, sport, leisure and cultural facilities in a way that is not only proportionate to the scale of the proposed development, but also enables use by residents across Milton Keynes.
- 7.4 In this instance, the proposed development would be placed alongside the existing pavilion, occupying a parcel of the open land on site. The nearest elevation would be over 20m from the existing line of trees located south of the application. It would provide a new community hall as well as additional changing facilities. Although visible from all angles, the proposal would be partially screened by planting and as a result of the development, the primary use of the open space would remain unchanged. With no change to the existing access and the introduction of additional parking spaces, the proposal would ensure any potential impact on the existing highway network is kept to a minimum. The use of the site is currently leisure and recreation, the level of noise resulting from the additional community hall and changing facilities is not considered to be well above what is normally expected for a sport playing field. The site is also not considered to pose an irreversible threat to wildlife, and ecology will be covered in more details later in the report. Having considered the above, the officer is of the opinion that the principle of the development is in line with Policy L1 and CC4 of Plan:MK and Policy N5 of the GLPC Neighbourhood Plan.

- 7.5 As aforementioned, the application site is within an area of land allocated as a Linear Park within Plan:MK. Policy DS6 emphasised the need to ensure developments within Linear Parks would protect and enhance the landscape as well as minimise any adverse impact on local residents and agriculture and retain and improve public access to land and water areas for countryside recreation.
- 7.6 In this instance, although the development would be visible from public vantage points and nearby dwellings, it would be ancillary to the existing sports pavilion, providing additional space for sports activities and for community use. The proposal would not alter the existing public access arrangement and it would have no impact on archaeological interest. The proposed development is considered to meet the requirements set out in policy DS6.
- 7.7 Whether the proposal would comply with policies N8 and N9 of the Great Linford Neighbourhood Plan will be discussed later on in the report.

### Highway Matters and Parking

- 7.8 Vehicular access to the site is via a bell-mouth junction off Marsh Drive, a regular 30mph road, and is not proposed to be amended as part of this proposal. Comments relating to an increase in traffic in the area are noted. However, the Council's Highways Officer indicated no objection to the proposal in terms of traffic and highways matters.
- 7.9 Comments relating to parking and traffic as a result of the development are noted. The application site falls within Parking Standards Zone 3, as set out in the Milton Keynes Council Parking Standards SPD (2016), which requires 1 space per 22m<sup>2</sup> of public space. In this case, the 184m<sup>2</sup> of floorspace proposed for the community hall will require a total of 9 spaces. On-site parking is already available within the pavilion ground and the proposal includes 9 new spaces following the removal of shrubs and planting within the existing carpark. The Council's Highways Team considers this to be acceptable provided the new car parking spaces are constructed, surfaced and permanently marked out prior to the occupation.
- 7.10 Turning to the requirement for electric vehicle (EV) charging points, there is not a requirement to provide EV charging points for 9 spaces in accordance with MKC Parking Standards SPD. Furthermore, the Council's Highways Team considered any request for EV charging points to be unreasonable due to the number of new car parking spaces, see table below.
- 7.11 Despite not requesting electric charging points, there is a need to provide secure bicycle parking facilities, see table below.. No details have been submitted for the 10 bicycle parking facilities proposed, therefore, should permission be granted it is recommended that a condition to be added to ensure details are submitted for approval prior to the occupation of the development.
- 7.12 Having considered the above, no objection is raised having regard to the Policy CT2, CT6, CT10 of Plan:MK, policy GLPC N5(c) of the Neighbourhood Plan and the MKC Parking Standards SPD.

	<b>Parking Standards Requirement - Zone 3</b>	<b>Provided</b>
'Other' floorspace (184 sqm)	1 per 22 sqm (9 spaces required)	9 spaces
Accessible spaces	5% of provision (0 spaces)	0 spaces
Electric vehicle (EV) charging points	2 charging points per 100 spaces + 1 charging point per additional 100 spaces (0 EV points required)	0 EV points
	<b>9 spaces required, including 0 accessible spaces and 0 EV points</b>	<b>9 spaces provided, including 0 accessible and 0 EV points</b>
Powered two-wheeler (PTW)	1 space per 70 car parking spaces (0 spaces required)	0 spaces
Cycle Parking - employee	1 per 700 sqm or 1 per 10 FTE staff (0 spaces required)	10 spaces
Cycle parking - visitor	Min 2 + 1 per 1000sqm thereafter (2 spaces required)	
<b>Site Total</b>	<b>0 PTW spaces + 2 cycle spaces required</b>	<b>0 PTW spaces + 10 cycle spaces</b>

### Design, Character and appearance

- 7.13 The proposed building would occupy an area of open space within the existing pavilion ground. From the street scene of Marsh Drive, the proposed development would not be readily visible by virtue of its siting. However, the proposal would be visible from the redway located north of the existing pavilion and tennis courts. As aforementioned, the proposed building would be single storey in nature and the scale is considered to be modest when comparing with the existing pavilion on site and therefore considered to sit comfortably with the Pavilion on site. Both the Urban Design Officer and the case officer acknowledged that the proposed materials differ from those on site. However, the use of wooden cladding and dark colour panels would ensure the building remains low key. The additional greenery in front of all four elevations would help soften the visual impact. As the proposed building would sit in line with the exiting pavilion, when viewing from the open space and the footpath, the additional structure would not appear bulky or disproportionate.
- 7.14 During the course of the application, the Council's Urban Design Team was consulted on two occasions. The latest comments received indicated the latest submission to be broadly consistent with the landscaping surrounding the neighbouring building. The increased timber cladding and the landscape scheme improve the appearance of the building. The comments went on to say that the site

is not in a particularly prominent location and the use will help animate this particular corner of the park.

- 7.15 Despite the differences in the proposed materials, the additional planting around the site and around the proposed building along with the increase in wooden cladding have reduced the visual impact to a level that is acceptable in this particular location. The proposal at single storey nature would satisfactorily integrate with the existing pavilion as an ancillary building without appearing as an odd addition on site and is considered acceptable in terms of its scale, design, character and appearance, and compliant with Policies D1 to D3 of Plan:MK (2019) and Policy GLPC N5, N8 and N9 in the Great Linford Neighbourhood Plan.

### Residential Amenity

- 7.16 Policy GLPC N5(e) highlighted that new development for sport, leisure and community facilities should not result in the loss of amenity for existing residents particularly as a result from noise from within and outside the building or as a result of external lighting. This is also echoed in policy D5 of Plan:MK (2019) seeks to ensure that development proposals do not cause an adverse impact on residential amenity. This includes the levels of sunlight and daylight within buildings, open spaces and garden areas. It seeks to ensure a reasonable degree of privacy is maintained throughout, with overlooking limited to an acceptable degree. It also states that new development is not overbearing upon existing buildings and open spaces.
- 7.17 The proposal is of a single storey nature and is being sited over 20m away from the southern boundary of the Marsh Drive Sports Ground, this is considered to be a sufficient distance.). A site visit to the sports ground confirmed that the properties closest to the proposed development are those located beyond the southern boundary on Andrewes Croft, over 20m away. Further checks confirmed these properties to be chalet style bungalows with limited upper floor windows overlooking the existing pavilion. By virtue of its position and height, the new building would not appear as a bulky addition that would lead to overshadowing, an adverse loss of sunlight/daylight or loss of privacy to the nearby residential properties.
- 7.18 Comments relating to the potential increase in noise levels are noted. However, the proposed layout indicates the changing facilities, the quietest part of the building, will be located on the southern end, which is the end that is closest to residential dwellings. The proposed opening time has been adjusted to 9am to 9pm on Sundays, 8am to 10pm on Mondays to Thursdays and 8am to 11pm on Fridays and Saturdays. Having considered the current use of the open space, the existing pavilion and sports pitches on site, the case officer is of the opinion that the adjusted closing time along with the limited openings on the southern elevation would not result in a dramatic increase in the resultant noise level that would be impaired to a significant degree that a reason for refusal could be sustained.
- 7.19 During the assessment stage, the case officer was made aware of a similar sized building within the vicinity and similar in terms of distance from residential properties. Great Linford Memorial Hall located further along Marsh Drive is sited approximately 24m from the nearby residential property. The hall benefits from on-site parking and

can host private functions and events. When compared with the nearby hall, the proposal is similar in terms of the relationship with nearby dwellings. The council's Environmental Health Team was notified of the application however, no comments have been received. Having considered the above and the site-specific circumstances, the officer has accepted that there will be noise from the building but the level of noise as a result of the development would not exceed what is expected at a sporting ground or community facility.

7.20 To ensure the resultant noise remains at a reasonable level for its use, the officer recommends an opening time condition, should permission be granted.

7.21 The proposed development is therefore considered acceptable and compliant with Policy D5 of Plan:MK (2019).

### Ecology

7.22 The site is located next to the existing pavilion building with no trees, shrubs or built structure. The grass is frequently mown. According to the submitted Ecological survey, the site offers no opportunities for sheltering or breeding for any protected species. The Council's Ecologist and Countryside Officers have accepted the ecological survey submitted with the application and raised no objection or suggested any conditions despite the loss of a small parcel of land and being within 100m of a pond and that Great Crested Newt (GCN) may be present on site, as the site is within a red impact area under the district licence mapping tools which indicates the development has highly suitable habitat for newts on site.

7.23 Even though no objection is raised, the Council's Countryside Officer has suggested an informative to be added if the applicant has chosen not to pursue GCN licensing prior to permission being granted. This highlights that if Great Crested Newts are discovered during development, all works must cease until advice has been sought from Natural England, as failure to do so could result in prosecutable offences being committed.

7.24 Having considered the comments from the Council's Countryside Officers, the submitted Ecological Appraisal and the site-specific circumstances, the case officer the proposed is considered to comply with policy NE2 of Plan:MK and policy GLPC N5(i) and N8(c) of the Neighbourhood Plan.

### Landscape

7.25 The submitted plans indicated the site to be uneven and comments from the Council's Landscape Architects confirmed that a 1m excavated change in existing levels will be needed. External lighting is proposed but no details have been submitted to indicate the brightness and the hours of use.

7.26 Having reviewed the latest set of plans and the additional information submitted by the applicant, the Council's Landscape Architects is satisfied with the principle of the development and raised no objection to the proposal, subject to condition on lighting, landscaping and levels.

7.27 Having considered the 6 tests for planning conditions, the case officer is of the opinion that a pre-occupation condition on the landscaping scheme would be adequate on this occasion, given the amount of information submitted with the application, the overall impact it would have on the development and the disturbance caused by the delay, should permission be granted.

### Public Open Space

7.28 Policy L2(A4) and the NPPF state that existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless the development is for other types of sports or recreational provisions of ancillary development associated with the open space and the needs for which clearly outweigh the loss.

7.29 Comments from the Council's Leisure, Community and Sports Development Team supporting the proposal in principle and all the other comments received relating to the changing facilities being below the Sport England standards are noted.

7.30 Sport England raised no objection to the proposal and commented that they are satisfied the proposed ancillary facilities does not affect the quality or quantity of playing pitched on site. It meets exception 2 of their playing fields policy in that the proposal is for ancillary facilities supporting the principle use of the site as a playing field. Although the national governing body of cricket, the ECB, mentioned the changing area falls below the requirement and there is no sight line from the changing room to the plying area, it was confirmed by Sport England that these comments are only intended to be helpful and to ensure compliance with the ECB's technical guidance.

7.31 On balance, the proposed development would provide additional facilities to the existing pavilion and sports pitches. The retention of the existing pavilion and sports pitches will allow for existing outdoor sports to be played without disruption. The loss of a small parcel of open land is acceptable on this occasion, taking on-board the usage of this space, its overall contribution to the rest of the sports ground and the comments from Sport England. The officer is satisfied that the proposed complies with policy L2 of Plan:MK and policy N8 of the Great Linford Neighbourhood Plan and that the benefits clearly outweigh the loss.

### Flood Risk and Drainage

7.32 The application site is located within flood zone 1 and, in accordance with Environmental Agency flood map, the area has low probability of flooding.

7.33 The wider pavilion site is largely open lands and grass playing fields, and the existing surface runoffs are mostly drained via natural drainage.

7.34 The proposed building would be sited on an area that is currently grass. The building as a whole would be slightly raised from the ground to accommodate the change in levels and also to allow space for drainage. To reduce the amount of surface water runoff, the area beneath the new building would be natural ground.

- 7.35 The Council's Local Lead Flood Authority (LLFA) team have raised no objection following the submission of a Drainage Appraisal. The officer acknowledged the follow-up comments by LLFA is subject to a request for a standard surface water drainage scheme condition to prior to work above ground level.
- 7.36 The case officer acknowledged the needs to ensure the resultant development would not lead to surface water flooding elsewhere and to ensure safe access is proposed. As the proposed building will be elevated above surrounding ground levels and surrounded by planting, there would be minimal change to the existing arrangement for surface water. The case officer has therefore considered a condition asking for surface water drainage scheme prior to occupation to be reasonable alongside the landscaping scheme.

### Other matters

- 7.37 The case officer is aware that there is a S106 agreement in place between the Parish Council and Milton Keynes Council (MKC). By virtue of the approved business case and the signed S106 agreement, the Council has agreed with the need to improve Marsh Drive Sports Ground. This weighs in favour of the application as there is an identified need for the facility.
- 7.38 Comments from Milton Keynes Centre for Integrated Living (MKCIL) are noted. Points relating to the use of internal facilities during sport events, how the facility will be managed in the long-term and compliance with building regulations are outside the remit of planning however, it has been confirmed that the disabled toilet in the community hall is for the users only. When matches are played, public toilet facilities, including for the disabled are available in the existing pavilion. Comments relating to the proposed disabled parking spaces are also noted. Revised parking plans indicated a total of 9 spaces, of which 2 will be disabled spaces. As mentioned in paragraph 7.8 of this report, the Council's Highways Officer considered the proposed to be acceptable.
- 7.39 Comments relating to the lack of public consultation between Great Linford Parish Council (as the applicant) and the local residents are noted. Unfortunately, this is not a planning related matter and therefore does not form part of the consideration process. All required planning consultation has been carried out in accordance with legislation.
- 7.40 Comments relating to alcohol license and the serving of alcohol beverages are also noted but these are not planning related matters and therefore will not be addressed in this report.
- 7.41 Comments relating to the source of funding and the use of the funds are noted. This element has been covered in paragraph 7.36 of this report,

## **8.0 CONCLUSIONS**

- 8.1 When considered cumulatively and having regard to the above assessment of the proposal, it is considered that the proposed community hall and changing facilities,

by virtue of the scale and positioning is considered to be acceptable and therefore the recommendation is that planning permission be granted, subject to conditions.

## **9.0 CONDITIONS**

1. The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: To prevent the accumulation of planning permissions; to enable the Local Planning Authority to review the suitability of the development in the light of altered circumstances; and to comply with section 91 of the Town and Country Planning Act 1990.

2. The development hereby approved shall be carried out in accordance with the materials specified on the approved plans.

Reason: To ensure that the new work complements the existing building and to ensure the development does not detract from the character and appearance of the area in accordance with Policies D1, D2, D3, D5 and of Plan:MK.

3. Prior to the occupation of the development hereby permitted the car parking area shown on the approved drawings shall be constructed, surfaced and permanently marked out. The car parking area so provided shall be maintained as a permanent ancillary to the development and shall be used for no other purpose thereafter.

Reason: To ensure adequate parking provision at all times so that the development does not prejudice the free flow of traffic or the safety on the neighbouring highway in accordance with Policies CT2 and CT10 of Plan:MK

4. Prior to the first occupation of the development hereby permitted details of the proposed bicycle parking shall be submitted to and approved in writing by the Local Planning Authority. The scheme approved shall be fully installed prior to the occupation of the building and be retained thereafter.

Reason: To ensure that adequate parking facilities are provided to serve the development in accordance with policies CT2 and CT10 of Plan:MK.

5. No building or use hereby permitted shall be occupied until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority. Soft landscape works shall include planting plans at a minimum scale of 1:200 with schedules of plants noting species, supply sizes and proposed densities; and a tree planting details drawing. The landscape plans shall include 10 proposed trees chosen for their value to wildlife, biodiversity and amenity; a mix of easy maintenance shrubs around the building (mature height up to 1 metre); existing trees and/or hedgerows to be retained and/or removed accurately shown with root protection areas and tree protection details; grass reinstatement.

All soft landscape works shall be carried out in accordance with the approved details and prior to the first occupation of the building(s) or the completion of the development whichever is the sooner. If within a period of two years from the date of

the planting of any tree or shrub, that tree or shrub, or any tree and shrub planted in replacement for it, is removed, uprooted or destroyed, dies, becomes severely damaged or diseased, shall be replaced in the next planting season with trees and shrubs of equivalent size, species and quantity. Thereafter the hard and soft landscape works shall be maintained and retained in situ.

Reason: To protect the appearance and character of the area and to minimise the effect of development on the area in accordance with Policies D1 and D2 of Plan:MK (2019).

6. Prior to occupation of the development hereby permitted finished floor levels and finished ground levels shall be carried out in accordance with the approved details as shown in drawing reference 13104-08.

Reason: To ensure that development proposals respond appropriately to the site and is carried out at suitable levels in accordance with Policies D1 of Plan:MK (2019).

7. No external lighting shall be installed on site until details of such lighting, including the intensity of illumination and predicted lighting contours, have been first submitted to, and approved in writing by, the Local Planning Authority prior to first occupation. Any external lighting that is installed shall accord with the details so approved.

Reason: In order to safeguard the amenities of adjoining residential occupiers in accordance with policy D5 of Plan: MK.

8. The development hereby permitted shall only be occupied/use between the hours of 08.00 and 22.00 on Mondays to Thursdays, 08.00 and 23.00 on Fridays and Saturdays and 09:00 and 21:00 on Sundays.

Reason: To prevent harm being caused to the amenity of the area and to safeguard the residential amenity of nearby occupiers in accordance with Policy D5 of Plan:MK

9. The development hereby permitted shall not be occupied until a surface water drainage scheme for the site, based on sustainable drainage principles set out in the Drainage Appraisal Report prepared by Bytlung Consultancy Limited dated April 2020, has been submitted to and approved in writing by the local planning authority. The scheme shall subsequently be implemented in full accordance with the approved details.

The drainage scheme must adhere to the hierarchy of drainage options as outlined in the NPPF PPG.

Reason: To ensure that the proposed development can be adequately drained and to ensure that there is no increased flood risk on or off site resulting from the proposed development in accordance with policies FR1 and FR2 of Plan:MK and policy GLPC N5(j) of the Great Linford Neighbourhood Plan.

10. All existing trees, woodlands and hedges to be retained are to be protected according to the provisions of BS 5837: 2012 'Trees in relation to design, demolition and construction - Recommendations' All protective measures especially the fencing and ground protection must be put in place first, prior to any other work commencing on site (this includes vegetation clearance, ground-works, vehicle movements, machinery / materials delivery etc.) and shall thereafter be maintained in place in good functional condition until the project is entirely complete and until, with the exception of soft landscaping works, all contactors, equipment and materials have left site. The fencing shall be on the RPA margin and of the same specification as that depicted in figure 2, page 20 and ground protection as specified in 6.2.3.1 - 6.2.3.5 pages 21/22 in BS 5837: 2012. Signs informing of the purpose of the fencing and warning of the penalties against destruction or damage to the trees and their root zones shall be installed at minimum intervals of 10 metres and a minimum of two signs per separate stretch of fencing.

Reason: To protect significant trees and hedgerows, safeguarding the character of the area and preserving habitat and to minimise the effect of development on the area in accordance with policies D1, D2, D4 and NE5 of Plan:MK.

**Great Linford Parish Council, Great Linford Sports Pavilion, Marsh Drive, Great Linford, Milton Keynes, MK14 5HH**



This Plan shows areas bounded by 400000 44, 500000 04, 600000 04, 700000 04 at a scale of 1:2500, OSN2004, 09/04/04. The representation of a road, track or path is an indication of a right of way. The representation of features as lines is an indication of a property boundary.

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REV A – 27/04/20 – Minor change to site area

Great Linford Parish Council  
 1, St Sagar Court, Great Linford, Milton Keynes MK14 5HH  
 T: 01908 660040  
 E: projects@great-linford.gov.uk

PROJECT  
 DRAWING  
 SCALE 1:2500 @ A4

Sports Ground, Marsh Drive, Milton Keynes MK14 5HH  
**LOCATION PLAN**  
 Drawing No 13104 / 01

REV A

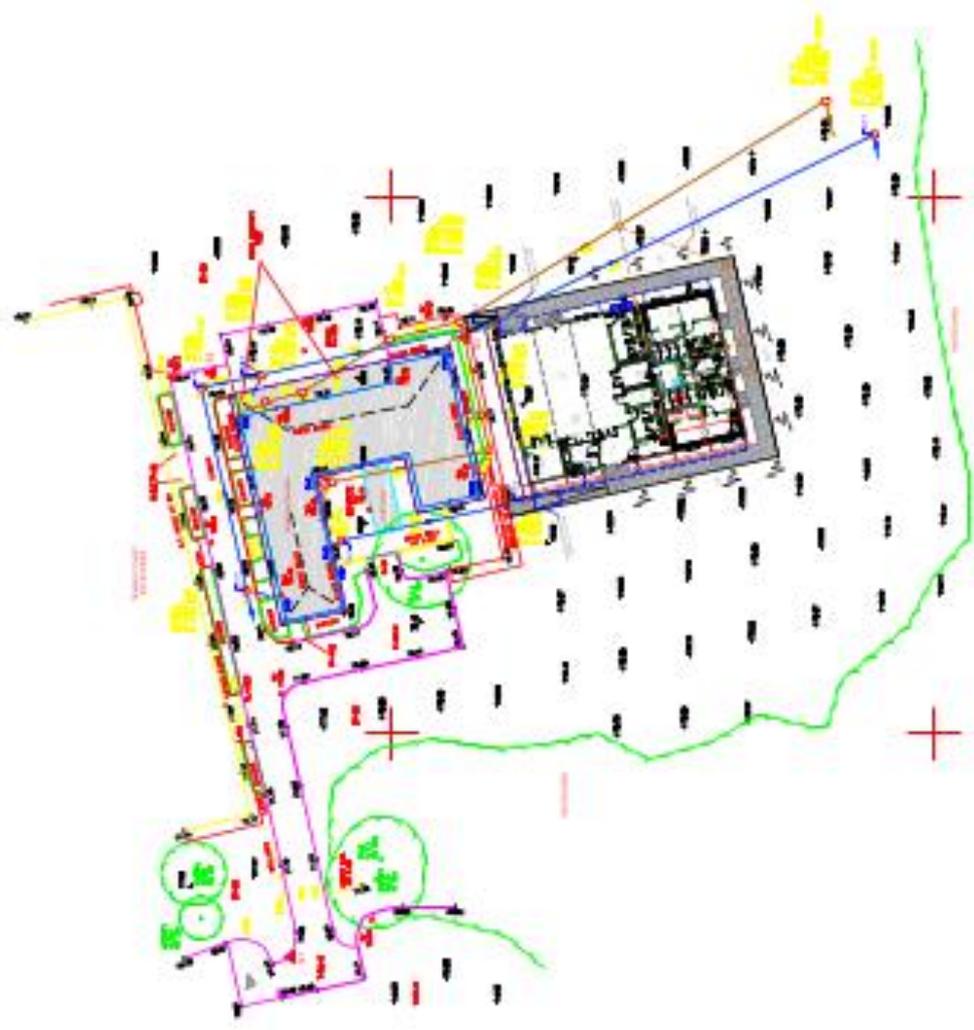


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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	08/15/2024
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	

PROJECT: 2024-001  
 CLIENT: [Redacted]  
 LOCATION: [Redacted]  
 DATE: 08/15/2024  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]

**PARAGON SPACE**  
 10000 15th Avenue S.W.  
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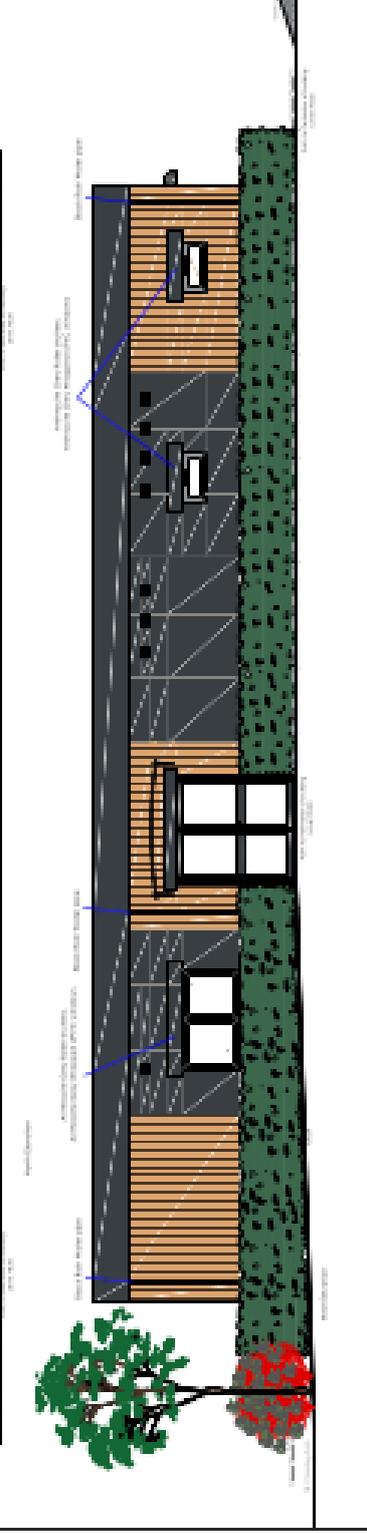
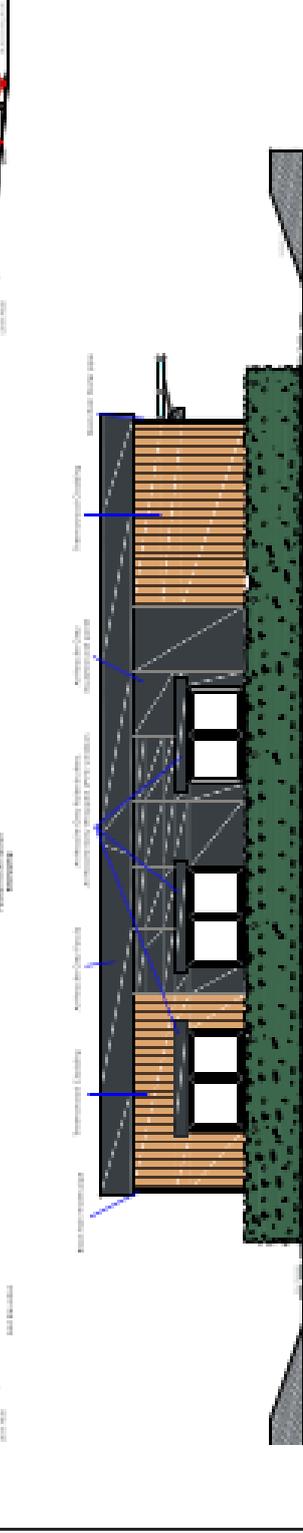
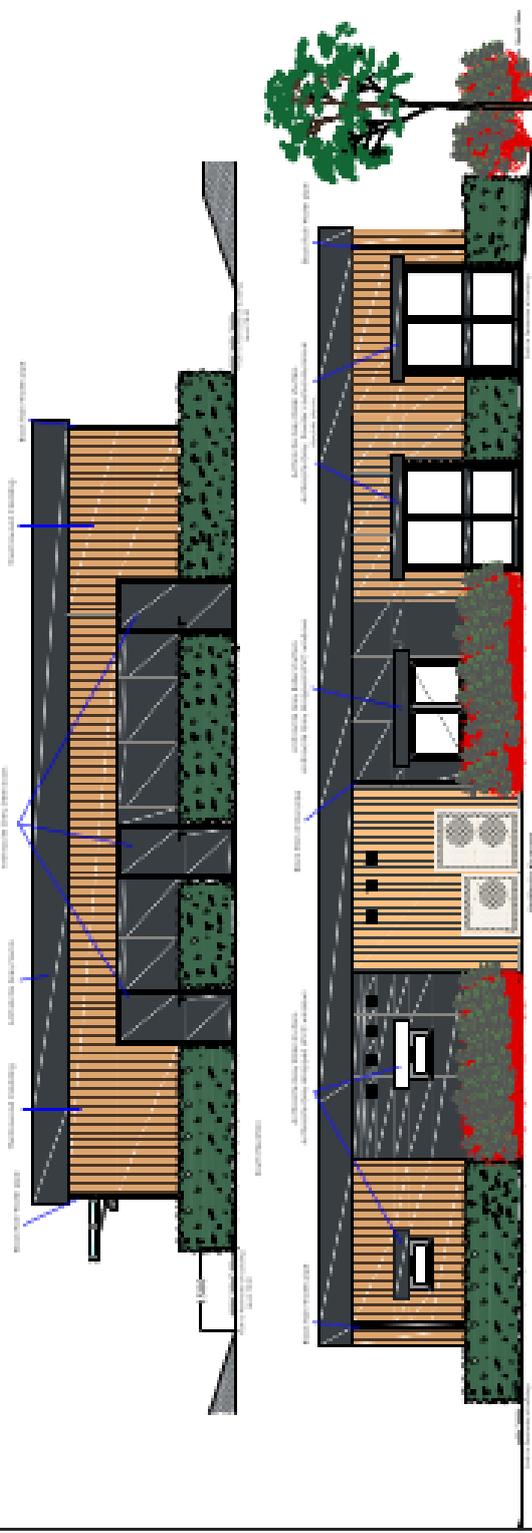
Approved: This plan, including architectural drawings, was prepared for the building shown or listed on this plan. It is not to be used for any other building or structure. Any use of this plan for any other building or structure is subject to change for more than one copy.

NO.	DESCRIPTION	DATE
1	Change to the drawing	10/10/2023
2	Revised drawing to show	10/10/2023
3	Change to the drawing	10/10/2023
4	Change to the drawing	10/10/2023
5	Change to the drawing	10/10/2023
6	Change to the drawing	10/10/2023
7	Change to the drawing	10/10/2023

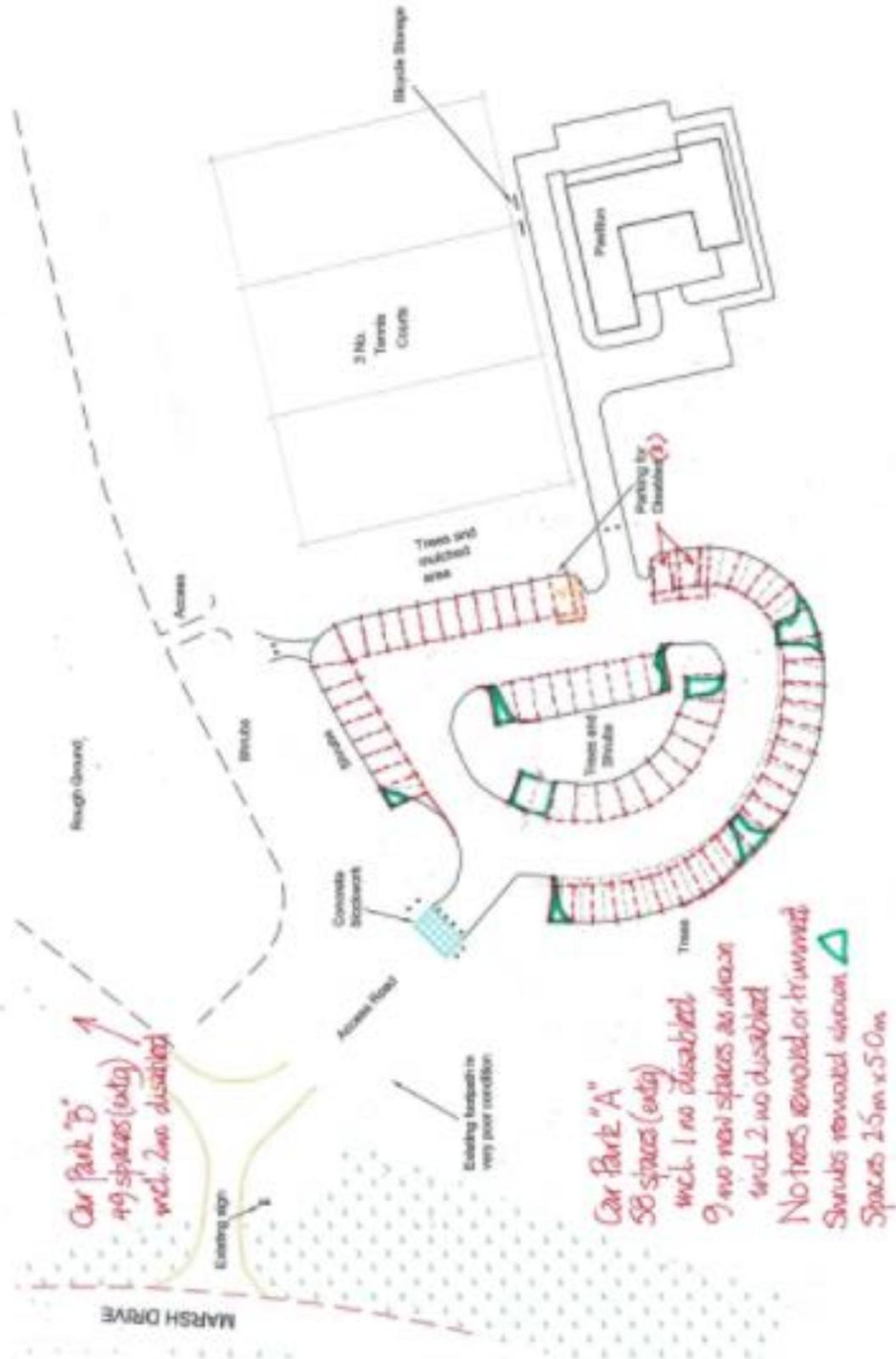
**SEAL UNDER PUBLIC SECTOR**  
 PROJECT: [Project Name]  
 DRAWING NO: [Drawing No.]

DATE: [Date]  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: [Scale]

**PARAGON SPACE**  
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**NOTES:** 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	15/08/2024
2	REVISIONS	15/08/2024
3	REVISIONS	15/08/2024
4	REVISIONS	15/08/2024
5	REVISIONS	15/08/2024
6	REVISIONS	15/08/2024
7	REVISIONS	15/08/2024
8	REVISIONS	15/08/2024
9	REVISIONS	15/08/2024
10	REVISIONS	15/08/2024

**PROJECT:** [Project Name]

**CLIENT:** [Client Name]

**ARCHITECT:** [Firm Name]

**DATE:** [Date]

**SCALE:** [Scale]

**PROJECT NO.:** [Project No.]

**ARCHITECT NO.:** [Architect No.]

**ENGINEER NO.:** [Engineer No.]

**PLANNING NO.:** [Planning No.]

**ENVIRONMENTAL NO.:** [Environmental No.]

**LANDSCAPE NO.:** [Landscape No.]

**PARAGON SPACE**

Preparation of  
Architectural Drawings and  
Specifications  
[Firm Name]  
[Address]



Images 01, 02 & 03 show an example of the Proposed Three-dimensional Timber and Archetype Cladding Details, for Facade, Windows and Doors.

**A1.0 FULL CONSULTATIONS RESPONSES**

## A1.1 MKC Highways

No objection, subject to conditions.

The pavilion itself will not and any additional demand for parking spaces as it is ancillary to the sports pitches which already exist. The community hall part of the building is 180m<sup>2</sup> in GFA which under the Council's adopted car parking standards (2016) would require 9 spaces (1 space per 22m<sup>2</sup>).

The submitted plan includes 9 new spaces which is acceptable. A condition to provide these is as below.

Due to the number of new car parking spaces I cannot insist that the site provides electric vehicle charging points. I would only recommend that the applicant gives this some further consideration as part of a wider site assessment.

1. Prior to the occupation of the development hereby permitted the car parking area shown on the approved drawings shall be constructed, surfaced and permanently marked out. The car parking area so provided shall be maintained as a permanent ancillary to the development and shall be used for no other purpose thereafter.

Reason: To ensure adequate parking provision at all times so that the development does not prejudice the free flow of traffic or the safety on the neighbouring highway.

2. Prior to the first occupation of the development hereby permitted details of the proposed bicycle parking shall be submitted to and approved in writing by the Local Planning Authority and the scheme approved shall be provided and be retained thereafter.

Reason: To ensure that adequate parking facilities are provided to serve the development.

### Additional comments following re-consultation:

No additional comments received following re-consultation.

## A1.2 MKC Ecology

Comments only.

The proposals may affect a protected species.

Great Crested Newts:

Given that the site is within 100m of a pond, GCN may be present on site. I advise the applicant to contact Andrew Irving (Great Crested Newt District Licensing Officer) for further advice on possible presence of GCN on site.

Andrew Irving – Countryside Officer (GCN District Licensing):

This correspondence is not an objection to your planning application or a pre-determination stipulation for ecological information/action. It is intended to provide information for consideration of your options regarding Great Crested Newts (GCN) and your development, as well as schemes that are available that may be beneficial to the development. The proposals involve development within 250m of ponds and cause damage/loss of terrestrial habitats where great crested newts (GCN) may be present and potential harm to individual GCN. There is a potential of GCN being present and therefore affected by the proposed development. GCN and their habitats are fully protected under the Conservation of Habitats and Species Regulations 2017 (as amended). Please see the present information below regarding GCN in relation to the development proposals:

- The proposed development site is classified as a red impact area for GCN under district licence mapping tools. This indicates that the development has highly suitable habitat for newts on site;
- There are 8 ponds within 500m of the site boundary, 2 of which are within 250m;
- Connectivity of suitable habitat in the local area may provide dispersal of GCN from the surrounding area to the development site; and
- Biological records show that GCN are near to the development site.

You may wish to consider the following:

1. Either the presence or likely absence of GCN to be established by way of a survey (and potential population assessments) undertaken by a suitably qualified ecologist and in accordance with the Great Crested Newt Conservation Handbook (Froglife, 2001) and the Great Crested Newt Environmental eDNA Technical Advice Note (Natural England 2014). If GCN are identified on or around the development site an EPS site-based mitigation licence may be required; or
2. The District Licence scheme (administered by the NatureSpace Partnership) could be applied for. Under Milton Keynes Council's district licence, development works that may cause impacts upon GCN can be authorised as part of the planning process.

For more information regarding GCN licensing and mitigation in relation to planning and development please contact:

Andrew Irving – Countryside Officer (GCN District Licensing).

Email: [andrew.irving@milton-keynes.gov.uk](mailto:andrew.irving@milton-keynes.gov.uk)

Tel: 01908 252 410/ 07788 380 023

If you wish to learn more about the district licence scheme please contact the NatureSpace Partnership or submit an enquiry form using the following links:

Contact - <https://naturespaceuk.com/contact/>

Enquiry - <https://naturespaceuk.com/enquiry-form/>

Additional comments following re-consultation:

No additional comments received following re-consultation.

### A1.3 MKC Lead Local Flood Authority

Thank you for your consultation which we received on the 28<sup>th</sup> October 2019.

We have reviewed the following documents:

- Topographical Survey, MK Surveys, Ref:26136, Dated: October 2018

- Site Plan, Paragon Space Ltd, Ref: PSE1518-31 Rev A, Dated: 06 March 2020

At present we object to the grant of planning permission for the following reasons:

## 1. Surface Water Management

It is not clear how the applicant is proposing to drain the site extension of this site. The submitted drawings indicate there is existing surface water drainage runs on site, discharging water into a sewer to the south of the site. However, it is not demonstrated how surface water will drain into this system or whether the pipe itself has capacity to receive the additional flows from the extension.

A surface water drainage strategy note should be submitted explaining how surface water will be drained from the extended 262m<sup>2</sup> of impermeable land, in line with the drainage hierarchy. The drawing should include any features used to treat surface water runoff. Water quality must be in line with the guidance provided within the CIRIA SuDS Manual C753. As the land that the proposed community hall and sports changing area is proposed is currently greenfield, surface water leaving this land should be no higher than the existing greenfield rate. It is important to demonstrate that the existing infrastructure has the capacity to receive any additional flows from this land.

### Further comments:

Thank you for your consultation which we received on the 28<sup>th</sup> October 2019.

We have reviewed the following documents:

- Topographical Survey, MK Surveys, Ref:26136, Dated: October 2018
- Site Plan, Paragon Space Ltd, Ref: PSE1518-31 Rev A, Dated: 06 March 2020
- Drainage Appraisal Report, Bytlung Consultancy Limited, Dated: April 2020

Based on these, as Lead Local Flood Authority (LLFA) we can **remove our objection** to the proposed development. The above documents demonstrate that surface water from the proposed development can be managed through the use of crated attenuation storing surface water runoff from the additional impermeable area on site produced from the new community hall and sports changing rooms. Surface water will connect into the existing private surface water sewer system on site.

We request the following condition is imposed:

Condition

*No above ground works shall commence until a surface water drainage scheme for the site, based on sustainable drainage principles, has been submitted to and approved in writing by the local planning authority. The scheme shall subsequently be implemented in full accordance with the approved details prior to occupation of the first dwelling.*

*The scheme shall be based upon the principles within the Drainage Appraisal Report prepared by Bytlung Consultancy Limited dated April 2020 and shall also include:*

- a) Full results of the proposed drainage system modelling in the 100%, 3.3% and 1% Annual Exceedance Probability (AEP) storm events (as well as 1% AEP plus climate change) , inclusive of all collection, conveyance, storage, flow control and disposal elements and including an allowance for urban creep, together with an assessment of system performance;*
- b) Detailed drawings of the entire proposed surface water drainage system, including levels, gradients, dimensions and pipe reference numbers;*

- c) Full details of the proposed attenuation and flow control measures;*
- d) Details of overland flood flow routes in the event of system exceedance, with demonstration that such flows can be appropriately managed on site without increasing flood risk to occupants;*
- e) Full details of the maintenance of the surface water drainage system;*
- f) Measures taken to prevent pollution of the receiving groundwater and/or surface water*

*The drainage scheme must adhere to the hierarchy of drainage options as outlined in the NPPF PPG*

Reason

*To ensure that the proposed development can be adequately drained and to ensure that there is no increased flood risk on or off site resulting from the proposed development*

Additional comments following re-consultation:

We were recently re-consulted on additional plans submitted to support the above application (20/00653/FUL). We can confirm the plans do not appear to have any flood risk or drainage implications, therefore we have no further comments to make.

#### A1.4 Sport England

Thank you for consulting Sport England on the above named application for the construction of new community hall and sports changing rooms adjacent to the existing pavilion.

It is understood that the proposal prejudices the use, or leads to the loss of use, of land being used as a playing field or has been used as a playing field in the last five years, as defined in The Town and Country Planning (Development Management Procedure) (England) Order 2015 (Statutory Instrument 2015 No. 595). The consultation with Sport England is therefore a statutory requirement.

Sport England has considered the application in light of the National Planning Policy Framework (in particular Para. 97), and against its own playing fields policy, which states:

'Sport England will oppose the granting of planning permission for any development which would lead to the loss of, or would prejudice the use of:

- all or any part of a playing field, or
- land which has been used as a playing field and remains undeveloped, or
- land allocated for use as a playing field

unless, in the judgement of Sport England, the development as a whole meets with one or more of five specific exceptions.'

Sport England's Playing Fields Policy and Guidance document can be viewed via the below link:

[www.sportengland.org/playingfieldspolicy](http://www.sportengland.org/playingfieldspolicy)

Sport England has consulted the national governing body for cricket, the ECB, and we have received the following comments. The ECB comment that the site will provide additional improved changing facilities for cricket at the site. New City Cricket Club are based there and run two adult sides so this is considered to be adequate provision. The ECB go on to comment that there are no concerns with ball strike as the proposed development is outside of 60m boundary from nearest cricket strip (as based on Google Earth measurement). The ECB consider that the the proposed design is not fully compliant with ECB current guidance for pavilions and clubhouses (TS5) on the following points:

- Changing area falls below the 20m<sup>2</sup> size requirement;
- No site line from westerly aspect of changeroom to the playing area.

Sport England is satisfied that having assessed the application, the proposed extension to ancillary facilities does not affect the quantity or quality of playing pitches at the site, The above comments on the design aspects of the proposal are intended to be helpful and provide advice on ensuring compliance with the ECB's technical guidance, but they do not determine our overall position on the application.

Sport England is therefore satisfied that the proposed development meets exception 2 of our playing fields policy, in that:

'The proposed development is for ancillary facilities supporting the principal use of the site as a playing field and does not affect the quantity or quality of playing pitches or otherwise adversely affect their use.'

This being the case, Sport England **does not wish to raise an objection** to this application.

The absence of an objection to this application, in the context of the Town and Country Planning Act, cannot be taken as formal support or consent from Sport England or any National Governing Body of Sport to any related funding application, or as may be required by virtue of any pre-existing funding agreement.

Additional comments following re-consultation:

No additional comments received following re-consultation.

#### A1.5 MKC Landscape Architects

As part of the full planning application further details should be provided for clarity and as supporting evidence of the need for the proposal.

Policy CC4 requires that new community facilities do not lead to deterioration in existing facilities and that the proposal will improve the quality and capacity of facilities valued by the community. This point should be addressed in a planning statement accompanying the submission justifying why a new community facility is needed. An assessment of the impact the proposal would have on existing

community facilities should also be made. For example, if there is under capacity to host certain events or meetings elsewhere and these uses could be duplicated in the new community building, this should be explained. If the building functions in a unique way compared to existing facilities, this should also be made clear. As part of any justification, it would be important to detail the different uses of the structure and how it would function including expected hours of use within the week and any limitations on this. It would also be important to spell out how the potential uses of the building differ from those hosted in the existing community pavilion building.

From the limited information supplied it isn't possible at this stage to determine if the principle of the development could be supported and this would have to be established through information supplied in a planning statement as outlined above.

In addition, I have the following comments to make on the design.

A proposed levels plan should be included as part of the submission to show spot heights and contours both existing and proposed and include the earthworks of excavated soils.

The location red line does not appear to include the extent of the area which will be required to accommodate the spread of soil excavated to create the level area for the building footprint.

A flat 'foundation' proposed level will be required to tie in with levels from the existing building for construction and pedestrian access paths. However, the topographical plan clearly shows that the site is not level and a 1metre excavated change in existing levels will be needed at the southern end of the new building. The submission doesn't explain where the soil will be deposited, and it will be expensive to remove off site. Earthworks including the placement of excavated soils is part of the development proposal and will need to be part of the planning permission. An area needs to be identified on the plans that can accommodate all the excavated soils. Proposals for the landscaping of the excavated materials needs to be included in the submission.

The layout should include the proposed service connection runs for water, waste and electrics; these should avoid tree root protection areas RPAs.

Appropriate hard and soft landscaping around the building including earthworks for the displacement of excavated soils should be provided to integrate the building into the parkland setting.

Hard landscape areas should be proposed which are appropriate and necessary for the proposed use. Any yard areas for bins, equipment and storage which may be fenced for security need to be identified as part of the submission as they cannot be informally added later without planning permission.

Security fencing if needed should be unobtrusive and possibly screened with planting depending on the specification.

There are well established trees and shrub beds around the car park which should be accurately shown on the layout and retained existing trees should be protected during construction.

The design and appearance of the proposal should be designed to blend in well with the park and surroundings. The loss of amenity open space for the building and loss of planting around the car park should be offset by the addition of new proposed planting and biodiversity enhancements

Recommendation:

As part of the full planning application further details should be provided for clarity, as supporting evidence of the need for the proposal and details of design.

I would be happy to provide a further consultation response if more information is submitted for review.

See detailed commentary above

Additional comments following re-consultation:

No objection, subject to conditions.

The principle of development is acceptable subject to conditions. The additional details provided during the planning consultation period provide some clarity and supporting evidence of the need for the proposal.

Policy CC4 part D (New Community Facilities) requires that the amenity of the surrounding area particularly for local residents will be protected by the use of appropriate planning conditions to regulate hours of operation, numbers of people attending, and the range of activities provided. Further clarification on these points but particularly justification for the hours of use (8am until 11pm 7 days a week) should be formally submitted by the applicant so that appropriately worded conditions which must be precise and enforceable can be applied to consent if granted.

In addition, I have the following comments to make on the amended design.

New lighting is proposed but no lighting details are included at this stage except the description on the application form. Lighting in parkland has the potential to negatively impact on visual amenity and wildlife. A lighting scheme can be conditioned which should be bat friendly and minimise impact on visual amenity.

The submitted landscaping plan includes proposed earthworks and regrading of levels which are acceptable. A condition to provide these is given below.

The proposed levels and shrub planting will help to limit the visual impact of the building from the open space and adjacent properties. However, the loss of amenity open space for the building and loss of planting around the car park including trees which were felled prior to the submission of the application should be offset by the addition of 10 trees which should be chosen for their value to wildlife, biodiversity and amenity. Therefore, notwithstanding the submitted landscaping plan which

should be approved if consent is granted, a landscape scheme should be conditioned to allow for the details to be agreed and secure replacement planting should the planting fail to thrive. The following points should be reflected in the details submitted to discharge the landscape condition:

- A mix of easy maintenance shrubs around the building in the locations shown maximum height 1 metre
- 10 new trees which should be chosen for their value to wildlife, biodiversity and amenity
- Retained existing trees should be protected during construction, tree protection details should be submitted on landscape plans

### Recommendation

The development proposal is acceptable subject to conditions.

- Lighting details and hours of use - bat friendly and minimise impact on visual amenity
- Facility hours of use, numbers of people attending, and the range of activities provided (policy CC4 part D)
- Levels compliance and landscape scheme condition wording below

1. (Landscape scheme) Notwithstanding the approved drawings, no development shall take place above slab level until full details of soft landscape works have been submitted to and approved in writing by the local planning authority. Soft landscape works shall include planting plans at a minimum scale of 1:200 with schedules of plants noting species, supply sizes and proposed densities; and a tree planting details drawing. The landscape plans shall include 10 proposed trees chosen for their value to wildlife, biodiversity and amenity; a mix of easy maintenance shrubs around the building (mature height up to 1 metre); existing trees and/or hedgerows to be retained and/or removed accurately shown with root protection areas and tree protection details; grass reinstatement. All soft landscape works shall be carried out in accordance with the approved details and prior to the first occupation of the building(s) or the completion of the development whichever is the sooner. If within a period of two years from the date of the planting of any tree or shrub, that tree or shrub, or any tree and shrub planted in replacement for it, is removed, uprooted or destroyed, dies, becomes severely damaged or diseased, shall be replaced in the next planting season with trees and shrubs of equivalent size, species and quantity. Thereafter the hard and soft landscape works shall be maintained and retained in situ.

Reason: To protect the appearance and character of the area and to minimise the effect of development on the area in accordance with Policies D1 and D2 of Plan:MK (2019).

- 2 (Levels) Prior to occupation of the development hereby permitted the details of the proposed finished floor levels of all buildings and the finished ground levels in relation to existing ground levels shown on the approved drawings shall be implemented.

Reason: To ensure that development proposals respond appropriately to the site and is carried out at suitable levels in accordance with Policies D1 of Plan:MK (2019).

## A1.6 MKC Landscape Services (Trees)

No comments received.

Additional comments following re-consultation:

No additional comments received following re-consultation.

A1.7 MKC Urban Design

In terms of design, I am broadly supportive of a community building in this location and the layout seems acceptable. Additional facilities would help animate the park and increase its use.

I do have some concerns regarding the design of the facades and how it will fit into the existing context, which I have outlined below.

- The council is supportive of modern methods of construction including off site assembly. However, this shouldn't compromise the appearance of the building. The pavilion as proposed looks temporary in nature, it would therefore benefit from the use of more robust building materials that will help the structure appear more like a permanent addition to Great Linford Playing Fields.
- There is no analysis of how the proposed building will sit in its context or relate to the character of the area. There also seems to be no adjustment in the design in order to relate to either the existing built form context or the landscape setting. Although the existing pavilion is an unremarkable building the new community building should relate positively to the built form and the residential context. This suggests a brick and pitched roof design. However, I appreciate there may be an additional cost to this. A design that differs from the built form context would be acceptable assuming that the building was attractive and well-integrated to the landscape setting.
- The elevations colours and materials could either be chosen to relate to the landscape setting or the colours of the neighbouring building materials. Increasing the amount of timber cladding would also help the building integrate with the setting better.

If the design of the building cannot be altered significantly than the landscaping surrounding the structure needs to be used to integrate the building into its setting. In effect providing a landscape buffer in front of the structure. In this regard there is a lack of information in terms of a soft and hard landscape strategy which is required to fully assess the visual impact of the proposed building on the playing field. As part of this full planning application further details should be provided in order to make an assessment of the visual impact of the building.

As a result of the limited information supplied in terms of landscaping, it isn't possible at this stage to determine if the design of the development could be supported.

Given the lack of information provided in terms of landscaping it is unclear if the development proposals as a whole respond appropriately to the site and surrounding context. The building on its own does not respond well to the existing context and it looks like a temporary structure.

The lack of a hard or soft landscape plan makes it difficult to assess if there is an appropriate framing of space to define public and private areas, appropriate boundary treatments and use of hard surfaces, whilst maintaining passive surveillance of the public realm.

The building is in an isolated location and needs to balance security with the need to maximise the surveillance of the public realm, in order to ensure the prevention of crime and minimise the perception of crime.

Landscape and boundary treatments need to integrate with and/or enhance those of the surrounding area. They are critical to the determining if this scheme is acceptable or not.

### **Plan:MK - Policy D2, CREATING A POSITIVE CHARACTER**

Whilst the temporary appearance of the building doesn't exhibit a positive character. The layout, massing/scale is acceptable. More information is required regarding the boundary treatments and landscaping of the proposed development. This is important to understand if these elements mitigate against the visual appearance of the building.

The character of the development is not locally inspired. However, it is located in a fairly isolated location next to an existing building of limited architectural merit.

Where there is no positive built form character on the site or surrounding area, new development can be designed to create its own distinctive character or sense of place using existing site features, the layout of the development and the appearance of buildings. Unfortunately, the temporary appearance of the building and the lack of a hard or soft landscape strategy have resulted in a building that stands out but appears temporary in nature and fails to complement its setting.

The hard and soft landscape strategy that is currently missing could mitigate the visual impact of the building and integrate the scheme into the existing landscape setting.

### **Plan:MK - Policy D3, DESIGN OF BUILDINGS**

The appearance of the building fails to contribute to the enhancement or creation of a positive character for the wider area.

The building is of an appropriate scale in relation to other buildings in the immediate vicinity in terms of its height and massing, but it fails to be a positive addition to the existing, townscape, and landscape in terms of visual amenity, quality of architectural design, coherence with the wider context, and the relationship with existing buildings in the immediate area.

It is my view that a brick base to the building and/or sections of the facade would make the structure visually more robust and a carefully chosen colour combined with soft landscaping could help the building fit into its context better. Increasing the amount of timber cladding would also help the building integrate with the landscape setting better.

#### **Plan:MK - Policy D4, INNOVATIVE DESIGN AND CONSTRUCTION**

Whilst the council are supportive of developments that incorporate innovative design features and modern methods of construction, such as modular / off-site construction techniques, this shouldn't compromise the appearance of the building. The pavilion as proposed looks temporary in nature, it would therefore benefit from the use of more robust building materials that will help the structure appear more like a permanent addition to Great Linford Playing Fields.

#### **Plan:MK - Policy D5, AMENITY AND STREET SCENE**

The proposed development in terms of its height, massing and location is not overbearing upon existing buildings and open spaces. However adjusting the design of the facades and providing landscaping would help the structure integrate visually with the context more successfully.

#### Recommendation

- Adjustments are required to the façade of the proposed building to integrate the building with the existing context more successfully.
- A landscape strategy is also required to ensure the building relates well to its landscape setting

#### Additional comments following re-consultation:

The landscape plan seems broadly consistent with the landscaping surrounding the neighbouring building and as a result will help integrate the visual appearance of the two buildings. The proposed reduced levels will also help limit the visual impact of the building from the open space.

Whilst I continue to believe that the facades could appear more robust in its design, the increased timber cladding and the landscape scheme improve the appearance of the building. The site is also not in a particularly prominent location and the use will help animate this corner of the park.

As a result, in terms of design and layout I don't object to the application.

#### **A1.8 MKC Leisure, Community and Sports Development**

I understand that the above planning application is currently out for consultation. Here in the Leisure, Community and Sports Development Team, we support the development proposal in principle, and feel that modular changing rooms and a

new club room at Marsh Drive Sports Ground would greatly enhance the local sporting offer, particularly for football and cricket teams. However, we would have liked to have seen slightly bigger changing rooms because the current design of 15.7m<sup>2</sup> falls short of the Sport England design guidance requirement of 16m<sup>2</sup> minimum for football and 20m<sup>2</sup> minimum for cricket. The changing rooms should also be designed to allow use by disabled or injured athletes, and this is achievable by taking on board the Sport England Assessible Facilities design guidance. For example, could a drop down seat be provided in one of the 4 showers within the team changing rooms? We would also suggest that the Parish Council considers making the plant room accessible from the outside of the building.

#### A1.9 Great Linford Parish Council

GLPC considered the following applications and agreed to make no objection.

##### Additional comments following re-consultation:

No additional comments received following re-consultation.

#### A1.10 Cllr Hannah Minns - Stantonbury

No comment received.

##### Additional comments following re-consultation:

No additional comments received following re-consultation.

#### A1.11 Cllr Martin Petchey - Stantonbury

No comment received.

##### Additional comments following re-consultation:

No additional comments received following re-consultation.

#### A1.11 Cllr Alex Walker - Stantonbury

No comment received.

##### Additional comments following re-consultation:

No additional comments received following re-consultation.

#### A1.12 Public Rep

26 objection letters have been received from 11 different households as well as a petition with 20 signatories

## Summary of comments:

### Material considerations:

- The building is unsuitable for the site.
- Building is not in keeping.
- Loss of privacy.
- Late openings will create un-necessary noise.
- Marsh Drive Sport Ground has an adequate pavilion.
- The proposal will lead to anti-social behaviour.
- No clear justification on why the proposal is required.
- Large proportion of the open space will be lost.
- The proposal will not benefit those living nearby.
- Existing carpark is largely empty for most of the year. The proposed change of use from changing facilities to community hall will increase the number of cars coming and going.)
- Traffic on Marsh Drive (MKC Highways Officer make no reference to traffic impact
- Quality of building is not acceptable.
- Maintenance issue with existing space.
- Security.
- Impacts on the natural environment and the wildlife.
- Current facilities are old and outdated.
- Red zone for GCN.

### Non planning material considerations:

- The Council should delay determination to allow further discussions during Covid-19.
- Residents not given a chance to discuss.
- Lack of engagement between the local parish council and residents.
- Mental health and wellbeing of local residents
- Why not improve existing facilities.
- Parish has no regard to local residents.
- The use of and selling of alcohol.
- Parish council consulted with Oakridge Park and Redhouse Park.
- Financial and sourcing of funding.
- The use of the funding.