

Application Number: 20/02491/FUL

Description Proposed single and two storey rear extensions and ground floor front extension (Resubmission of 20/01431/FUL)

At 26 Rossal Place, Hodge Lea, Milton Keynes, MK12 6JE

For Mr Euan Darling

Statutory Target: 31 December 2020

Extension of Time: 26 January 2021

Ward: Bradwell

Parish: Wolverton & Greenleys Town Council

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1.0 RECOMMENDATION

1.1 It is recommended that permission is granted subject to conditions set out in this report.

2.0 INTRODUCTION

The Site

2.1 The application site comprises a two-storey semi-detached dwelling with a link attached garage to the side. The site benefits from 1 off-street parking space in the driveway to the front. The property retains its full permitted development rights. The immediate area comprises similar style/sized link attached dwellings.

The Proposal

2.2 This application is a re-submission of a previously approved scheme under planning reference 20/01431/FUL and seeks planning permission for single and two storey rear extensions and ground floor front extension. During the application process the plans have been revised to reduce the size of the proposed front porch. The front porch would measure 1.5 metres (depth) x 4 metres (width) and standing at 3.3 (2.4 metres to the eaves). The ground floor rear extension would have a rear projection

of 5 metres and extend the width of the house. The first-floor element would have a 4-metre rear projection and would be set in from the northern boundary. All external materials would match the existing dwelling.

- 2.3 It should be noted that the application is a re-submission of a previously approved scheme. The current application increases the width of the front porch by 1 metre and increases the width of the widest part of the first-floor extension from 4.4 metres to 4.8 metres.

Reason for referral

- 2.4 The application has been referred to Development Control Panel as the applicant is an MKC employee.

Scope of debate/decision

- 2.5 This application proposal is a full planning application and so all material planning matters are to be considered.

3.0 RELEVANT POLICIES

National Policy

- 3.1 National Planning Policy Framework (February 2019) (NPPF)

Section 2 - Achieving Sustainable Development
Section 3 – Plan-making
Section 4 – Decision-making
Section 12 - Achieving Well-Designed Places

The Development Plan

- 3.2 Plan: MK (March 2019)

Policy D1 - Designing a High Quality Place
Policy D2 - Creating a Positive Character
Policy D3 - Design of Buildings
Policy D5 - Amenity and Street Scene
Policy CT10 - Parking Provision

- 3.3 Supplementary Planning Documents/Guidance

New Residential Development Design Guide (April 2012)
Parking Standards SPD (January 2016)

- 3.4 Human Rights Act 1998

There may be implications under Article 8 and Article 1 of the First Protocol regarding the right of respect for a person's private and family life and home, and to the peaceful enjoyment of possessions. However, these potential issues are in this case amply

covered by consideration of the environmental impact of the application under the policies of the development plan and other relevant policy guidance.

3.5 Equality Act 2010

Due regard, where relevant, has been had to the Milton Keynes Council's equality duty as contained within the Equality Act 2010.

4.0 **RELEVANT PLANNING HISTORY**

4.1 Application Site

20/01431/FUL

Proposed single and two storey rear extension and front porch

Permitted – 26/08/2020

5.0 **CONSULTATIONS AND REPRESENTATIONS**

5.1 Wolverton & Greenleys Town Council

No comments received.

5.2 Cllr Exon – Bradwell Ward

No comments received.

5.3 Cllr M Bradburn – Bradwell Ward

No comments received.

5.4 Cllr R Bradburn – Bradwell Ward

No comments received.

5.5 Neighbour/ Third Party Representations

No third party comments received.

6.0 **MAIN ISSUES**

- Design and impact on the character and appearance of the area
- Impact on Residential Amenity
- Parking & Highway implications

7.0 **CONSIDERATIONS**

Design and impact on the character and appearance of the area

7.1 Section 12 of the National Planning Policy Framework (NPPF) highlights that the creation of high-quality buildings and places is fundamental to what the planning and

development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Paragraph 127 states that development, amongst other requirements, should function well and add to the overall quality of the area, should be visually attractive as a result of good architecture, layout and landscaping, and should be sympathetic to local character and history. Paragraph 130 states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area.

- 7.2 Policy D1 of Plan:MK states that development proposals will be permitted if they respond appropriately to the site and surrounding area. It should provide active frontages with defined private areas. Soft and hard landscaping should be provided to soften the streetscape and to continue the green character of Milton Keynes, enhancing the quality of the public realm. Policy D2 states that the layout, scale, boundary treatments and landscaping of the development exhibits a positive character and is locally inspired. Where there is no positive built form character in the surrounding area, new development should be designed to create its own distinctive character or sense of place using existing site features. The design must allow for visual interest through the careful use of detailing. Policy D3 focuses on the appearance of the buildings and that they must contribute to the enhancement or creation of a positive character for the development with forward thinking and distinctive architecture incorporated. It states that buildings as proposed should be of an appropriate scale in relation to other buildings in the immediate vicinity in terms of their height and massing. In addition, the building's form, massing and facade elements all contribute to the character of the site and create visual interest.
- 7.3 The front porch extension on the initial plans was considered to be too dominant and out of character with the street. This has subsequently been reduced in height and width. The amended scheme is on balance considered to be sympathetic in design and proportionate to the existing dwelling. Although the development would be visible from the street scene given its prominent location, it is considered to integrate sympathetically with both the host dwelling as well as the street scene. In addition, the use of matching external materials would ensure the proposed porch extension would not be out of keeping with the local street scene.
- 7.4 It is accepted that the rear extensions do have a large footprint and would offer partial views from the public footpath to the rear. However, given they would be located a significant distance from the rear boundary they would not appear overly prominent from the footpath. The ground floor element would be sited approximately 9.5 metres away and the first-floor element set back by a further metre. The use of matching external materials would ensure that the extensions are not at odds with the existing dwelling. In addition, the ridge height would be lower than the existing ridge, providing an element of subservience.
- 7.5 With regards to the new window openings in the side elevation, these are considered to be minor and do not significantly alter the appearance on the dwelling.
- 7.6 As such the proposal is considered to comply with policies D1, D2 and D3 of Plan:MK and Section 12 of the NPPF.

Impact on Residential Amenity

- 7.7 Policy D5 of Plan:MK seeks to ensure that development proposals do not cause an adverse impact on residential amenity. It also seeks to ensure new development is not overbearing upon existing buildings and open spaces. It requires all proposals to create and protect a good standard of amenity for buildings and surrounding areas, and in particular should ensure that *“the levels of sunlight and daylight within buildings and open spaces, and garden areas in particular, are satisfactory; a reasonable degree of privacy to new and existing private living space and the main private garden area, with overlooking limited to an acceptable degree; [and] new development is not overbearing upon existing buildings and open spaces”*.
- 7.8 The front porch would have a small front projection of 1.5 metres. Given the small front projection, limited eaves height with the roof facing away from the neighbours, lack of side openings and distance from neighbouring boundaries the proposed development is not considered to result in any detrimental impact on the neighbouring properties in terms of overbearing impact or unacceptable overshadowing.
- 7.9 The closest neighbour to the proposed development is no. 27 Rossal Place located to the north-east of the application site. The proposed ground floor rear extension would extend approximately 3 metres from the rear elevation of this neighbour and would sit close to the shared boundary with this neighbour. This rear projection is not considered to be significant, especially given the fact the roof would be hipped, facing away from this neighbour and therefore reducing the impact. In addition, the property retains its permitted development rights therefore the applicant could erect a 6-metre extension under the prior approval scheme. Given no objections have been received from neighbours this aspect of the proposal would not reasonably be resisted.
- 7.10 The first-floor extension with its overall depth reduced to 4 metres is, on balance, considered to be acceptable with regards to its impact on no. 27. The extension is set in from the boundary by 1 metre, increasing to 2.5 metres towards the rear therefore it would not result in overbearing impact. This also means the 45-degree view of this neighbour is not obstructed. Whilst it is accepted some overshadowing may still result on this neighbour, given the set in of the first-floor element, it is considered that this neighbour would receive sufficient light therefore any impact would be limited and within acceptable tolerances. In addition, although one window is proposed in the side elevation facing this neighbour, a condition will be attached for this to be obscure glazed to avoid overlooking or loss of privacy.
- 7.11 With regards to the neighbour at no. 25 located to the south/south-west of the application site, this neighbour would not be unacceptably impacted given the fact the application site and this neighbour both have garages along the shared boundary. As such, the rear extensions would be located approximately 2.4 metres from the shared boundary with this neighbour and a further 2.4 metres from this neighbours' main house and primary rooms. This separation distance is considered to be sufficient as to not result in any overbearing impact or unacceptable overshadowing. Two new window openings are proposed at first floor level in the side elevation facing this neighbour. However, these would not serve primary rooms and a condition has

been attached for these windows to be obscure glazed in order to avoid overlooking or loss of privacy. As such the impact on neighbouring amenity is negligible.

- 7.12 Furthermore, although a rear garden depth of at least 10 metres is usually required under the Milton Keynes' Residential Design Guide, the proposal would reduce the garden depth to approximately 9.5 metres which can on balance be accepted given the property sites of a fairly wide plot (approximately 9.7 metres).
- 7.13 Given the above, the proposed works are not considered to result in any unacceptable impact on the amenity of the neighbouring properties and would therefore accord with Policy D5 of Plan:MK.

Parking & Highway implications

- 7.14 Policy CT10 within Plan:MK states that all development proposals should meet the Council's full parking standards and that on-site parking should not be reduced if the proposal would increase pressure in off-site parking.
- 7.15 The property currently has 1 no. parking space in the driveway to the side which would be retained. The proposal would increase the number of bedrooms from 3 to 4. However, as the parking requirement for the site would not increase, the scheme could not reasonably be resisted. As such the proposal is considered to comply with Policy CT10 of Plan: MK and the Milton Keynes Parking Standard SPD.

8.0 CONCLUSIONS

- 8.1 The proposal is found to be in accordance with development plan policies and it is therefore recommended that planning permission is granted subject to conditions.

9.0 CONDITIONS

1. The approved development shall be carried out in accordance with the following drawings/details:

- Plans and elevations as proposed – 002 rev F

Reason: For the avoidance of doubt and to secure sustainable development pursuant to the objectives of the Development Plan.

2. The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: To prevent the accumulation of planning permissions; to enable the Local Planning Authority to review the suitability of the development in the light of altered circumstances; and to comply with section 91 of the Town and Country Planning Act 1990.

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking, re-enacting or modifying that Order), the proposed first floor windows in the side elevations shall be obscurely

glazed to a minimum level 3 within the Pilkington range of Textured Glass or equivalent and be non-opening below 1.7 metres from finished floor level. The window shall thereafter be maintained in this condition at all times and shall not be altered to clear glazing or opening without the specific grant of planning permission from the Local Planning Authority.

Reason: To preserve the amenity and privacy of the adjoining residential occupiers in accordance with Policy D5 of Plan: MK (2019).

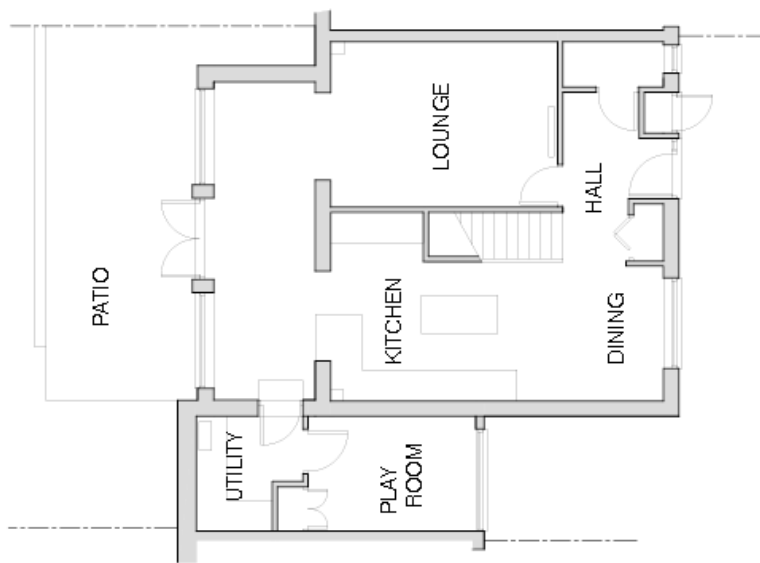
4. The external surfaces of the development hereby permitted shall be constructed only of materials of a type and colour which match those of the existing building except where indicated otherwise on the approved drawings.

Reason: To ensure that the new work complements the existing building and to ensure the development does not detract from the character and appearance of the area in accordance with Policies D2 and D3 of Plan: MK (2019).

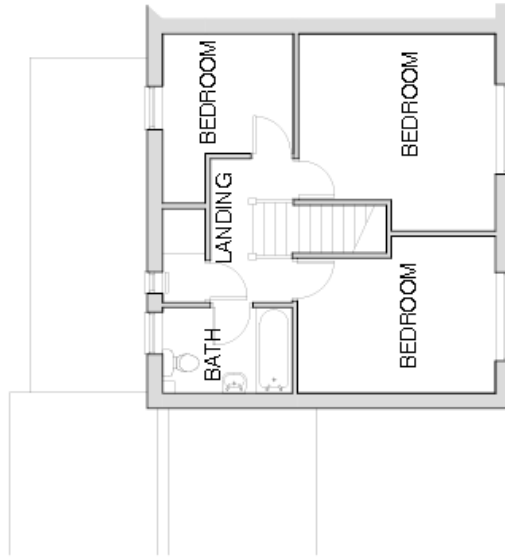
Location plan



Existing and proposed plans



GROUND FLOOR PLAN



FIRST FLOOR PLAN

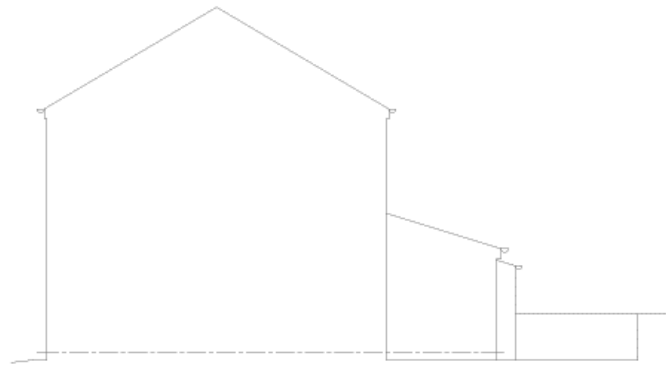
Existing elevations



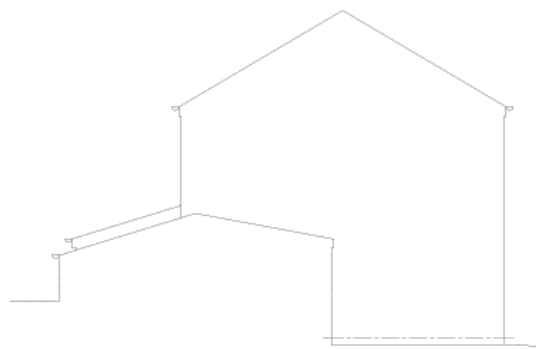
FRONT ELEVATION



REAR ELEVATION

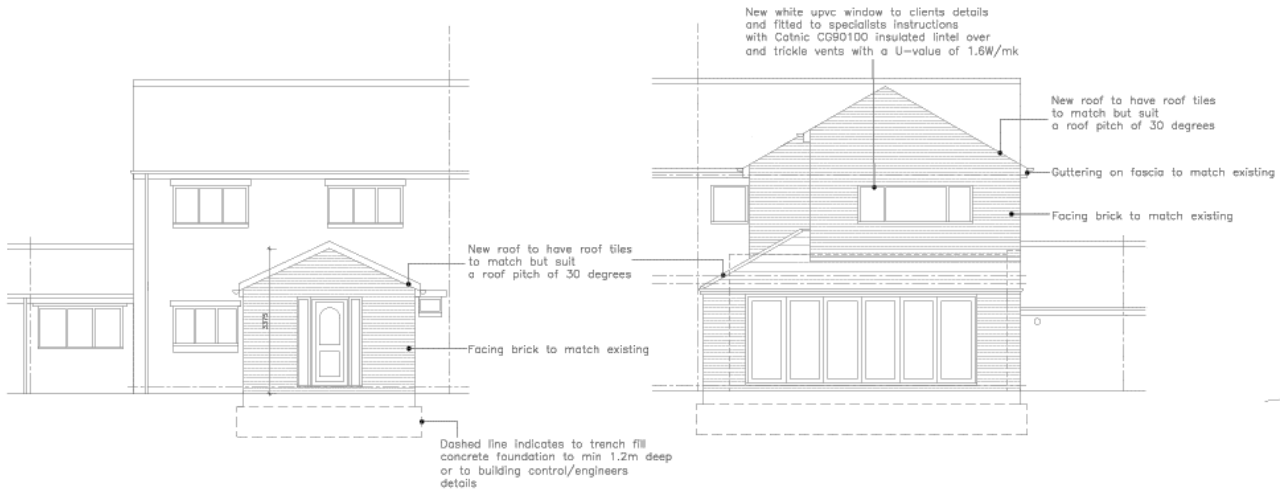


SIDE ELEVATION



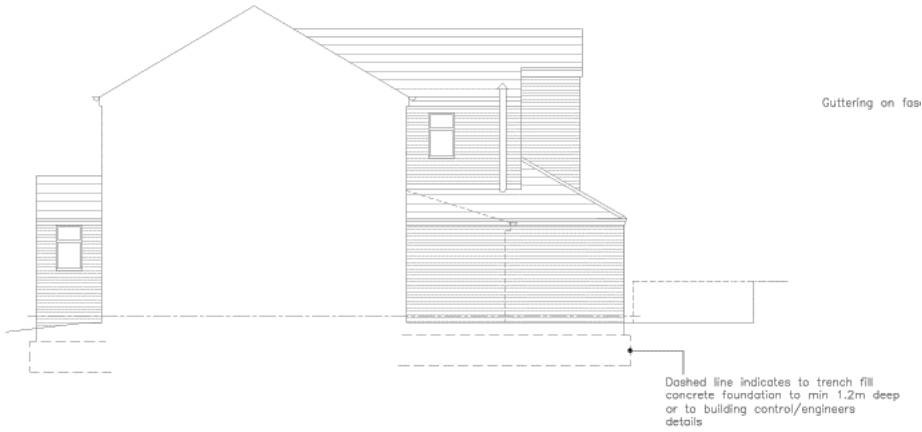
SIDE ELEVATION

Proposed elevations



FRONT ELEVATION

REAR ELEVATION



SIDE ELEVATION ADJOINING



SIDE ELEVATION