

**Application Number: 16/02346/FUL
Other**

Single storey side and rear extension and raised platform to rear

AT 3 Clarence Road, Stony Stratford, Milton Keynes

FOR Mr Martin Brown

Target: 12th October 2016

Ward: Stony Stratford

Parish: Stony Stratford Town Council

Report Author/Case Officer: Matthew Pearce

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1.0 INTRODUCTION

(A brief explanation of what the application is about)

1.1 The main body of the report set out below draws together the core issues in relation to the application including policy and other key material considerations. This is supplemented by an appendix which brings together planning history, additional matters and summaries of consultees' responses and public representations. Full details of the application, including plans, supplementary documents, consultee responses and public representations are available on the Council's Public access system www.milton-keynes.gov.uk/publicaccess. All matters have been taken into account in writing this report and recommendation.

1.2 Reason for referral to Development Control Panel.

This application is referred to the Development Control Panel for determination as the applicant works in the Councils Environmental Health Department which works with the Planning Department as a consultee. The application has also received objections from Stony Stratford Town Council and two neighbouring properties.

1.3 The application was deferred from the Development Control Panel held on 15th December 2016 for a member's site inspection to be carried out.

1.4 The Site

The application site contains a two-storey terrace dwelling, which is located on the north-west side of Clarence Road in Stony Stratford. The site is not

however located within the Stony Stratford Conservation Area. To the rear of the application site is an access alleyway beyond the residential garden. The garden measures 14 metres in length at its shortest point, and 20 metres at its longest. The property is attached to No.1 Clarence Road, which is situated to the north-east of the application site, and No.5 Clarence Road, which is situated to the south-west. The application property has a two-storey rear projection along its north-eastern boundary with No.1 Clarence Road. No.1 Clarence Road also has a two storey rear projection along its south-western boundary; together they form a gable end. A window on the ground floor rear elevation of the two storey projection serves a habitable room. No.5 Clarence Road mirrors the application site by also has a two storey rear projection attached to No. 7 Clarence Road, a space between the application dwelling and No.5 Clarence Road is retained between the two rear projections. A window on the ground floor rear elevation of the main part of the house serves a habitable room as does a window on the ground floor of the side elevation of the two storey rear projection.

1.4 The Proposal

The application seeks planning permission for a single storey rear extension with dual pitch roof constructed of matching facing brickwork and fibre cement slates. The extension will infill the area between the existing two storey projection and the shared boundary with No. 5 Clarence Road measuring 9 metres deep and 4.2 metres wide. The proposed extension will project 3 metres from the existing rear projection of both the application dwelling and No. 1 Clarence Road. The proposed extension will have an eaves height of 2.8 metres high and a ridge height of 3.7 metres high. Five roof lights are proposed on the south west roof slope and 2 to the north east roof slope. A raised platform measuring 1.2 metres deep and 0.54 metres high with steps down into the residential garden is also proposed.

2.0 RELEVANT POLICIES

(The most important policy considerations relating to this application)

2.1 National Policy

National Planning Policy Framework 2012

Paragraph 7 – Requiring Good Design

Paragraph 17 – High Quality Design

Paragraph 64 – Impact of Character and Appearance of the Area

2.2 Local Policy

Core Strategy

CS13 Ensuring High Quality, Well Designed Places

Milton Keynes Local Plan 2001-2011 (saved policies)

D1 Impact of Development Proposals on Locality
D2 Design of Buildings
T15 Parking Provision

Supplementary Planning Documents

Milton Keynes Parking Standards 2016
New Residential Development Design Guide 2012

3.0 MAIN ISSUES

(The issues which have the greatest bearing on the decision)

3.1 Principle of Development

3.2 Design of Building

3.3 Impact on Locality

4.0 RECOMMENDATION

(The decision that officers recommend to the Committee)

4.1 It is recommended that planning permission be granted subject to the conditions set out in section 6.0 of this report.

5.0 CONSIDERATIONS

(An explanation of the main issues that have led to the officer Recommendation)

5.1 Principle of Development

Saved Policy D2 of Milton Keynes Local Plan 2001 – 2011 states that all new buildings and extensions to buildings must relate well to the surrounding area and sets out the criteria which governs the designs of new buildings and extensions to existing buildings to make sure they create a positive contribution to the environment. The policy also states that extensions to existing buildings will only be permitted providing the scale of the proposed extension does not detract from the character of the original building. An extension to the dwelling would be acceptable in principle, subject to the extension not detracting from the character of the original building or the character of the local area. Additionally it should not result in a harmful impact on the amenity of any neighbouring properties.

5.2 Under the provisions of Permitted Development (The Town and Country (General Permitted Development) (England) Order 2015), a single storey rear extension of up to 3 metres could be erected from the existing two storey rear protrusion without requiring planning permission. The same provisions can allow a single storey side extension, from the rear elevation of the main building to sit flush with the rear elevation of the existing two storey rear protrusion without requiring planning permission. This is a material

consideration which must be given weighting when determining the application. As such the main assessment of this proposed development is focused on the part of the extension which could not be built under the provisions of Permitted Development, namely the south western corner which measures 3 metres deep and 1.7 metres wide.

5.3 Design of Building

Saved policy D2 of the Milton Keynes Local Plan 2001-2011 states:
“The extension of existing buildings will only be permitted providing the scale of the proposed extension does not detract from the character of the original building”.

- 5.4 The proposed development will not be visible from the streetscene of Clarence Road, given that the proposed extension is to be situated to the rear of the dwelling. The appearance of the dwelling will remain unchanged when viewed from within the streetscene of Clarence Road. The property's rear boundary lies adjacent to an access alleyway. The proposed development may be visible from the public realm when viewed from this alleyway; however this impact will be partially mitigated by the existing close boarded timber fence along the rear boundary, this impact is not considered to be harmful to the character and appearance of the local area. Approximately 10 properties within the local area of Clarence Road have had some form of development to infill the areas between rear projections. As such, the proposed extension is not considered to be out of keeping with the character of the local area.
- 5.5 The proposed extension would form a subservient addition to the main dwelling given that the extension is single storey only. The proposed scale, being single storey is considered not to detract from the character of the original building which will retain the two storey rear projection. The use of matching facing brickwork will ensure the proposed extension is in keeping with the original building. The proposed extension will leave a rear residential garden measuring approximately 10.7 metres long and 4.7 metres wide which is considered to be sufficient for a family dwelling. The proposed extension does not constitute overdevelopment of the site as a sufficient garden area will be retained and the proposed extension is single storey only.
- 5.6 The proposed development would be in accordance with Saved Policy D2 of the Milton Keynes Local Plan 2001-2011 and guidance within the National Planning Policy Framework 2012.

5.7 Impact on Locality

Saved policy D1(iii) of the Milton Keynes Local Plan 2001-2011 states:
“Planning permission will be refused for development that would be harmful for any of the following reason...an unacceptable visual intrusion or loss of privacy, sunlight and daylight”

- 5.8 There are no windows on the side elevations facing No's.1 or 5 Clarence Road ensuring that the habitable rooms are not affected by a loss of privacy. A number of roof lights are proposed which would be approximately 2.3 metres above the floor level of the proposed extension. This height would ensure that the roof lights would not cause a loss of privacy to the ground floor windows of the neighbouring properties. No's.1 and 5 Clarence Road. The angle of the roof lights also ensures that the first floor windows of the neighbouring properties No's.1 and 5 Clarence Road would not be adversely affected by a loss of privacy. The proposed bi-fold doors on the rear elevation of the proposed extension will have a view down the residential garden of the application site to the rear boundary. The doors will create some overlooking to the rear gardens of No's. 1 & 5 Clarence Road however the gardens are already overlooked by rear windows on the first and ground floor.
- 5.9 The proposed extension would have some impact on the amenity of neighbouring properties No's. 1 & 5 Clarence Road, in regards to outlook and light. The extension has a relatively shallow pitched roof with the eaves height being around the same height as the top of the ground floor windows of No's. 1 & 5 Clarence Road. Light and outlook to ground floor windows of No. 5 Clarence Road is already restricted by the existing two storey projection of the application dwelling. It is considered that the section of the proposed extension which would create the most impact to the ground floor windows, in terms of loss of light, is that part which could be erected under the provision of permitted development. The additional 3 metres which make the proposed extension require planning permission are located away from these ground floor windows and do not create adverse loss of light or visual intrusion to No. 5 Clarence Road. The section of the proposed extension closest to the ground floor window of No.1 Clarence Road is the section which could be erected under the provision of permitted development. As such, the proposed extension is considered to not adversely affect the ground floor window of No.1 Clarence Road in terms of loss of light or visual intrusion.
- 5.10 The proposed development would be in accordance with Saved Policy D1 (iii) of the Milton Keynes Local Plan 2001-2011 and guidance within the National Planning Policy Framework 2012.

5.11 Other matters

An objection was received in regards to the removal of internal walls resulting in noise disturbance. Internal walls could be removed/alterd without planning permission and as such the planning system has no control over the impact created. The building control system is likely to have more control over this matter.

- 5.12 An objection was also received in regards to the impact to party wall due to removal of walls and the chimney. This matter would be covered by the Party Wall Act and is a civil matter between all relevant parties.
- 5.13 A further objection was raised in regards to the platform covering the sewer system for the road. The applicant will likely have to seek permission from the relevant owner of the sewer system to build over it.
- 5.14 A further objection was raised on the ground that the plans are not to scale and mislead in regards to the height of the extension. All plans have a stated scale and scale bar, no inconsistencies have been identified by the planning officer. The height of the extension, as stated in paragraph 1.4 of this report, the proposed extension will have an eaves height of 2.8 metres high and a ridge height of 3.7 metres high. There is a difference in levels between the front and rear of the application dwellings which is noted and has been taken into consideration when determining the application.

6.0 CONDITIONS

(The conditions that need to be imposed on any planning permission for this development to ensure that the development is satisfactory. To meet legal requirements all conditions must be Necessary, Relevant, Enforceable, Precise and Reasonable)

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To prevent the accumulation of planning permissions; to enable the Local Planning Authority to review the suitability of the development in the light of altered circumstances; and to comply with section 51 of the Planning and Compulsory Purchase Act 2004. (D11)

2. The external surfaces of the development hereby permitted shall be constructed only of materials of a type and colour which match exactly those of the existing building unless otherwise agreed in writing by the Local Planning Authority. (M01)

Reason: To ensure that the development does not detract from the appearance of the locality.

Appendix to 16/02346/FUL

A1.0 RELEVANT PLANNING HISTORY

(A brief outline of previous planning decisions affecting the site – this may not include every planning application relating to this site, only those that have a bearing on this particular case)

A1.1 16/00743/PREHSE

Pre-application advice was given for the erection of a rear extension by Planning Officer Racheal Cunliffe.
12.05.2016

A2.0 ADDITIONAL MATTERS

(Matters which were also considered in producing the Recommendation)

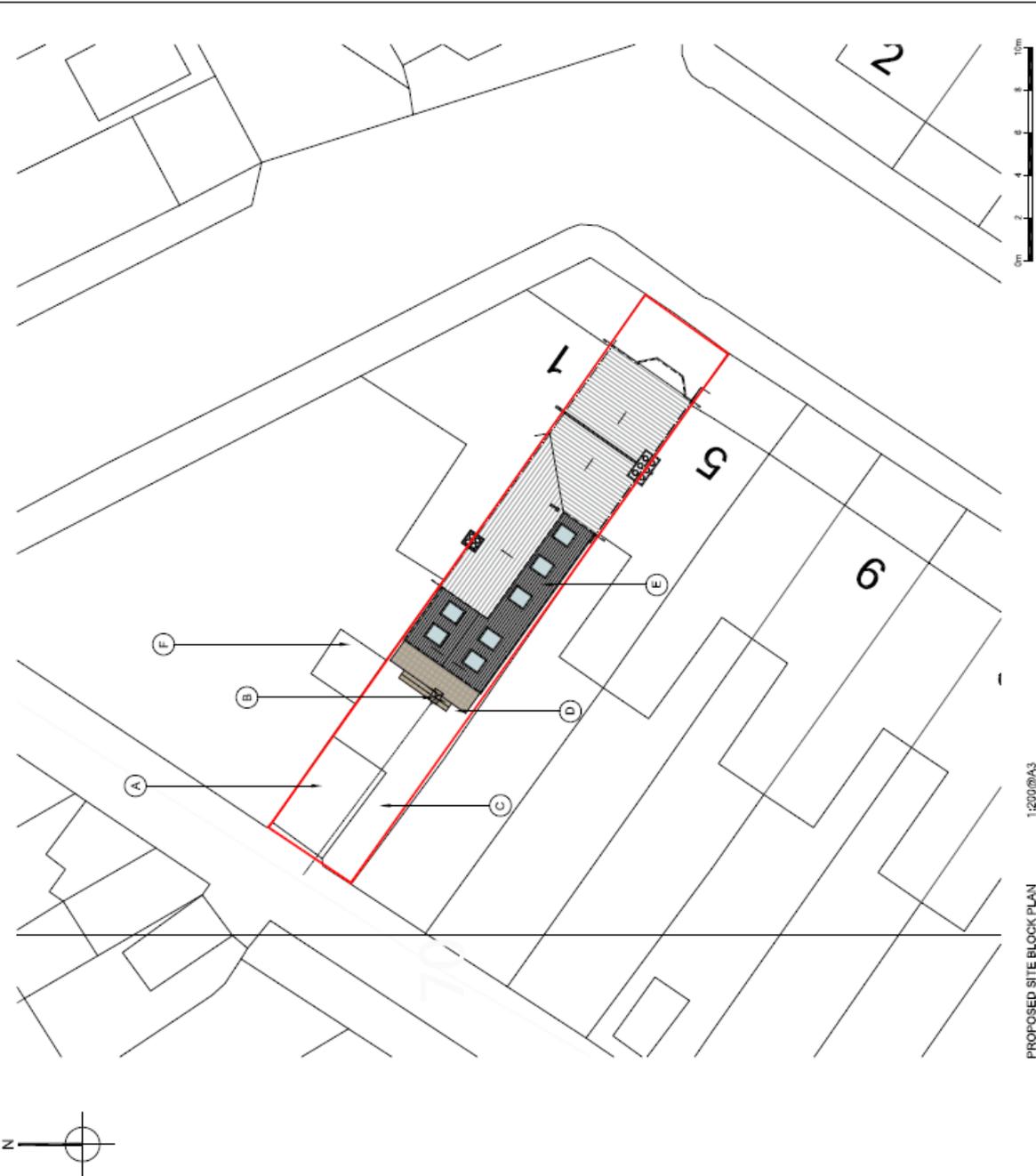
A2.1 None



SITE LOCATION PLAN
1:1250@A3

NOTES:

- A. Garage
- B. Existing manhole cover
- C. Rear garden
- D. Proposed paving
- E. Proposed single storey side/rear extension
- F. 1 Clarence Road outbuilding



PROPOSED SITE BLOCK PLAN 1:200@A3

Rev	Date	Description
A.	30/05/18	Extension reduced to 3 metres.



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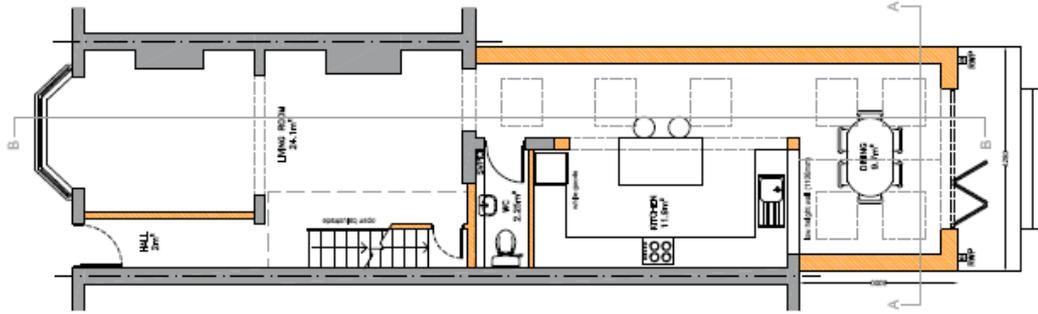
Mr M Brown

Proposed Single Storey Rear/Side Extension
 3 Clarence Road, Stony Stratford

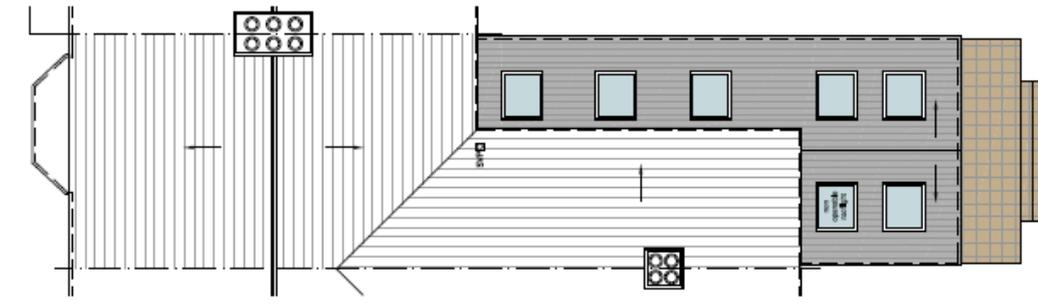
PLANNING
 Site Location & Block Plan

STATUS	PL	DRAWN	SM	CHECKED	KO
DRAWING STATUS		SCALE	Varied	DATE	Sept 2016
P - Pathway					
R - Road					
BR - Building Footprint					
C - Construction					
No	06176-200A				

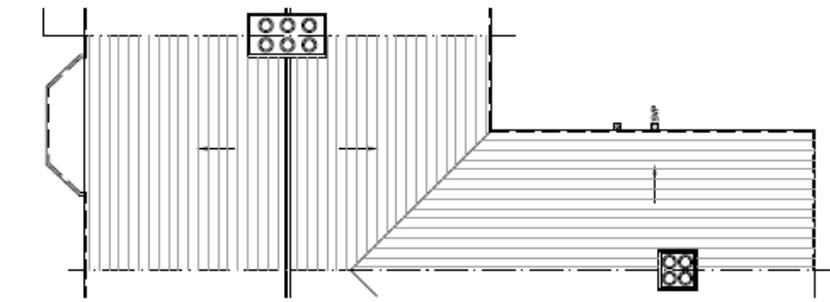
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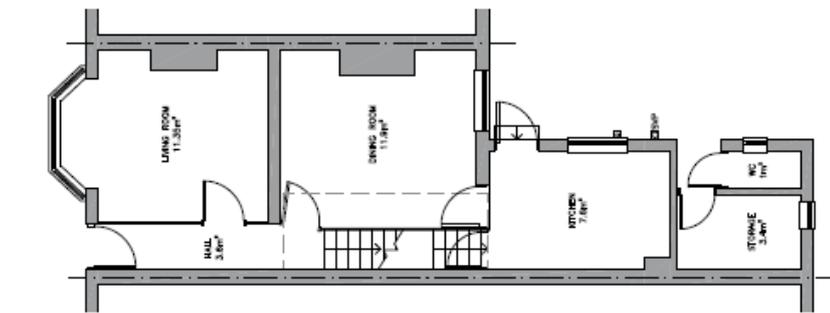
PROPOSED GROUND FLOOR PLAN
1:100@A3



PROPOSED ROOF PLAN
1:100@A3



EXISTING ROOF PLAN
1:100@A3



EXISTING GROUND FLOOR PLAN
1:100@A3

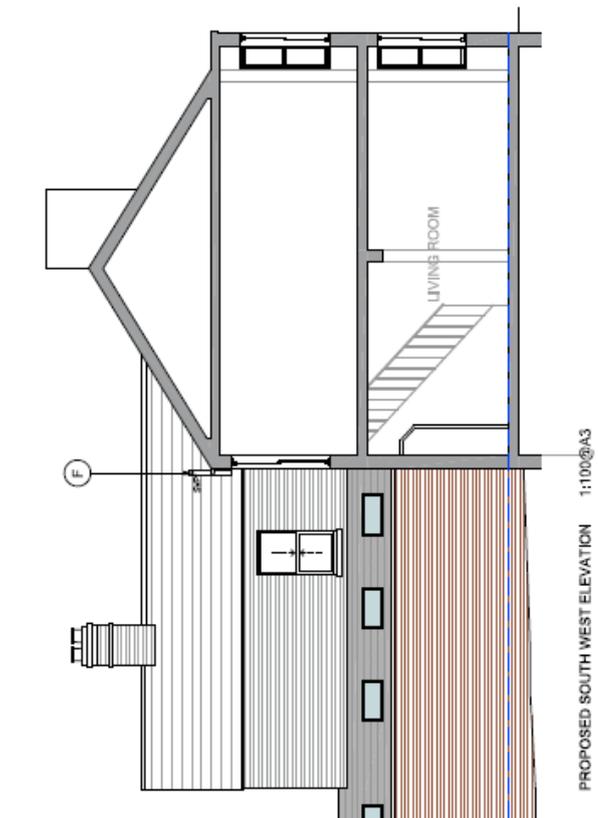
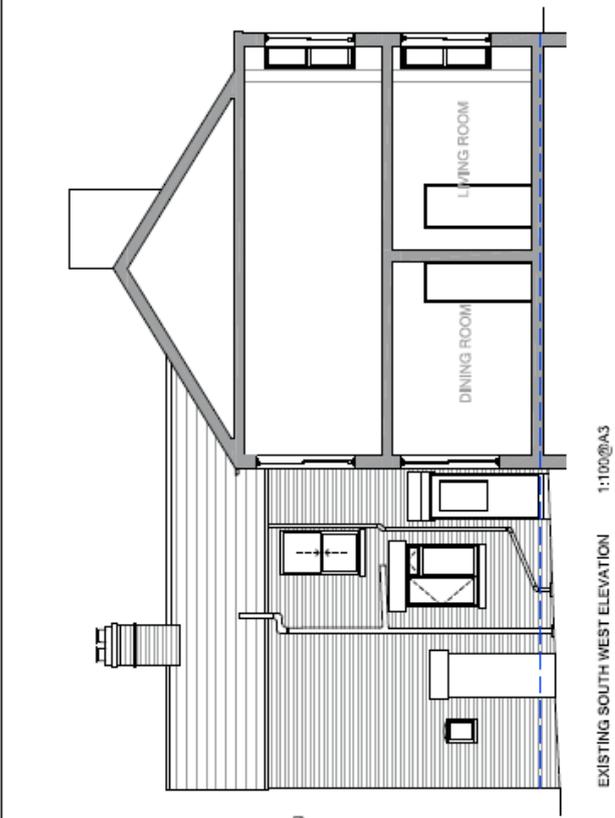
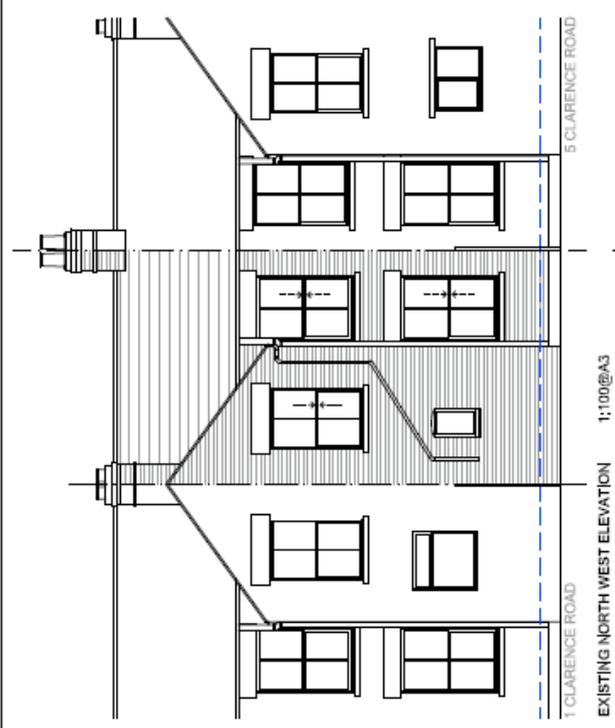


- EXISTING WALLS TO BE RETAINED
- NEW PROPOSED WALL CONSTRUCTION

Rev Date Description
A 30/03/16 Extension reduced to 3 metres.



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	PLANNING Existing and Proposed Floor & Roof Plan	STATUS PL DRAWING STATUS P - Preliminary R - Record SS - Building Reg C - Construction	DRAWN SM	SCALE 1:100@A3	CHECKED KO	DATE Sept 2016



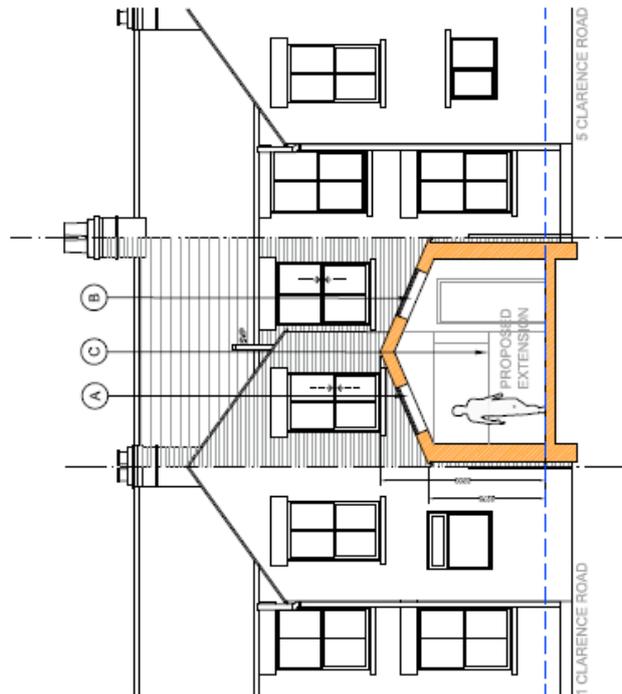
MATERIALS PALETTE:

- A. Facing brickwork to match existing
- B. Aluminium folding doors
- C. Paving
- D. Fibre cement slates
- E. Velux MK04 roof window
- F. Black UPVC guttering/pipes to match existing

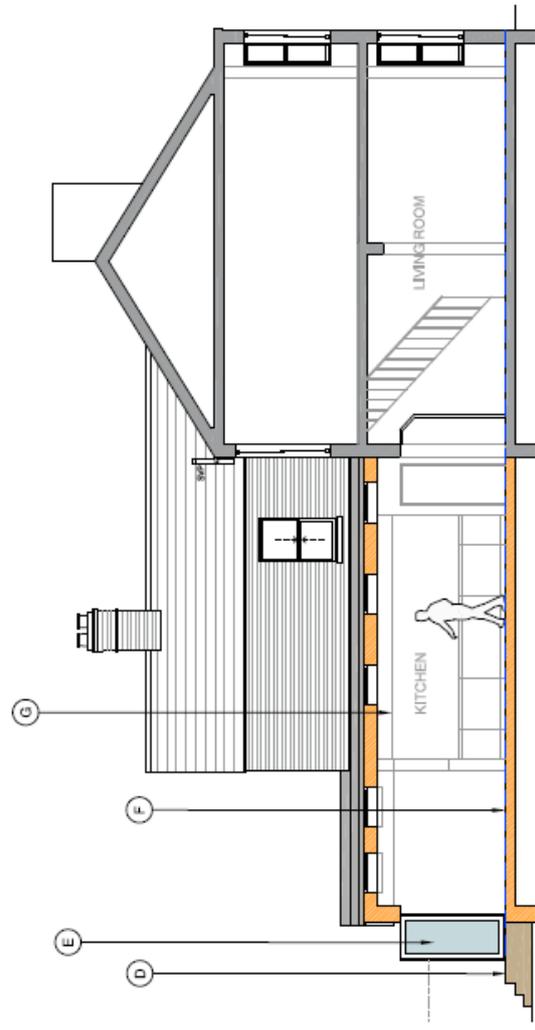
Rev	Date	Description
A	30.09.16	Extension reduced to 3 metres.



<p>STENTON · OBH I A R C H I T E C T S 201a E.J. Salmons & Innovation Centre, Blunbury Park, Milton Keynes, MK3 6ES. 01909 278670 or soa@stentonobh.co.uk CLIENT</p>	<p>Mr M Brown</p>	<p>Proposed Single Storey Rear/Side Extension 3 Clarence Road, Stony Stratford PROJECT</p>	<p>PLANNING Existing & Proposed Elevations DRAWING</p>	<p>STATUS: PL</p>	<p>DRAWN: SM</p>	<p>CHECKED: KO</p>
				<p>DRAWING STATUS: P - Preliminary R - Planning R - Record C - Construction</p>	<p>SCALE: 1:100@A3</p>	<p>DATE: Sept 2016</p>
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PROPOSED SECTION A-A
1:100@A3



PROPOSED SECTION B-B
1:100@A3

MATERIALS PALETTE:

- A. Velux roof window with obscure glazing
- B. Velux roof window
- C. Low height wall (1100mm)
- D. Paving
- E. Aluminium folding doors
- F. Proposed floor level to match existing
- G. Line of downstand beam

Rev	Date	Description
A	30/09/16	Extension reduced to 3 metres.



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 CLIENT

Mr M Brown

Proposed Single Storey Rear/Side Extension
 3 Clarence Road, Stony Stratford
 PROJECT

PLANNING
 Proposed Sections
 DRAWING

STATUS	PL	DRAWN	SM	CHECKED	KO
DRAWING STATUS A - Authority B - Planning SR - Building Reg C - Construction			SCALE 1:100@A3	DATE Sept 2016	

No 06176-203A

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A3.0 CONSULTATIONS AND REPRESENTATIONS

(Who has been consulted on the application and the responses received. The following are a brief description of the comments made. The full comments can be read via the Council's web site)

Comments	Officer Response
A3.1 Parish - Stony Stratford (Objection)	Noted
Stony Stratford Town Council object to the application on the grounds of :	
• Overshadowing and loss of light to the adjacent properties	Noted and addressed in paragraph 5.9
• Scale and massing having a detrimental effect on the adjacent property due in part to the changes in levels from back to front which accentuates the impact	Noted and addressed in paragraph 5.9
• Overdevelopment of the site	Noted and addressed in paragraph 5.5
A3.2 Ward - Stony Stratford - Cllr Brunning (No comments received)	Noted
A3.3 Ward - Stony Stratford - Cllr E Gifford (No comments received)	Noted
A3.4 Ward - Stony Stratford - Cllr Wilson (No comments received)	Noted

A3.5 Local Residents

The occupiers of the following properties were notified of the application:

1 & 5 Clarence Road, Stony Stratford
86 & 88 Wolverton Road, Stony Stratford

No's 1 & 5 Clarence Road have objected to the application on the grounds of:

- | | |
|--|--|
| • Plans are not to scale and the height is misleading | Noted and addressed in paragraph 5.4 |
| • Overbearing scale | Noted and addressed in paragraph 5.9 |
| • Overshadowing/Loss of light | Noted and addressed in paragraph 5.9 |
| • Loss of privacy to first floor rooms due to roof lights | Noted and addressed in paragraph 5.8 |
| • Not in keeping with local area | Noted and addressed in paragraph 5.4 & 5.5 |
| • Out of scale with existing dwelling | Noted and addressed in paragraph 5.5 |
| • Loss of garden space | Noted and addressed in paragraph 5.5 |
| • Removing internal walls resulting in noise disturbance | Noted and addressed in paragraph 5.11 |
| • Raised platform cover sewer system for the road | Noted and addressed in paragraph 5.13 |
| • Impact to party wall due to removal of walls and chimney | Noted and addressed in paragraph 5.12 |